

**TOWN OF GIBBONS
MUNICIPAL PLANNING COMMISSION (MPC)
AGENDA
TO BE HELD AUGUST 12, 2025, AT 6:30 PM
AT THE MUNICIPAL OFFICE**

- 1.0 CALL TO ORDER
- 2.0 ADOPTION OF THE AGENDA
- 3.0 ADOPTION OF THE MINUTES
 - 3.1 Municipal Planning Commission Meeting Minutes July 15, 2025
- 4.0 OLD BUSINESS
- 5.0 NEW BUSINESS
 - 5.1 Permit Number: 25-D0038
Proposed Development: Single Family Dwelling
Subject Site: Lot 25, Block 31, Plan 192 2297
27 Maple Crescent, Gibbons, AB
Zoning: R-1C Single Family Small Lot Residential
 - 5.2 Permit Number: 25-D0039
Proposed Development: Roof Top Solar System
Subject Site: Lot 29, Block 25, Plan 782 1890
4823 44 Avenue, Gibbons, AB
Zoning: R-1 Single Family Residential
- 6.0 NEXT MPC MEETING – August 27, 2025 (tentatively)
- 7.0 ADJOURNMENT

**MINUTES OF THE MUNICIPAL PLANNING COMMISSION OF THE TOWN OF GIBBONS HELD ON
WEDNESDAY, JULY 15, 2025, AT 4807 – 50th AVENUE IN COUNCIL CHAMBERS**

Municipal Planning Commission: Chair Yushchyshyn
Member Willis Kozak
Member Jay Millante

Members Absent

Staff Present: Terra Pattison – Finance Manager
Chris Pinault – Secretary

2.0 ADOPTION OF THE AGENDA

Member Kozak moved to accept the agenda as presented.

MPC 25.010 MOTION CARRIED

3.0 ADOPTION OF THE MINUTES

3.1 MINUTES OF THE MUNICIPAL PLANNING COMMISSION – JUNE 25, 2025

Member Kozak moved to adopt the Minutes of the MPC Meeting held on June 25, 2025.

MPC 25.011 MOTION CARRIED

4.0 OLD BUSINESS

5.0 DEVELOPMENT PERMIT APPLICATIONS

5.1 PERMIT #25-D0037

LEGAL DESCRIPTION	Block OT, Plan 912 0230
CIVIC ADDRESS	23230 Twp Rd 561A, Gibbons, AB
LAND USE DISTRICT	Highway Commercial (C-3) District
PROPOSED DEVELOPMENT	Erect A Temporary 150' X 150' X 23' Double Truss Tent

Member Kozak moved that the Municipal Planning Commission approve the temporary erection of a 150' X 150' X 23' Double Truss Tent with a permit expiry date of December 31, 2034, to be located at Block OT; Plan 912 0230, 23230 Twp Rd 561A, Gibbons, AB, with the following conditions:

1. This is a temporary development permit with an expiry date of December 31, 2034.
There shall be no servicing or permanent structures constructed on the site.
2. All development must be in accordance with the approved site plan
3. All loading and off-loading shall be done within the property.
4. Any future development will require a new permit application.
5. A person applying for, or in possession of a valid Development Permit is not relieved from full responsibility for ascertaining and complying with or carrying out development in accordance with the conditions of any covenant, caveat, easements, or other instrument affecting the building or the land. All development must comply with all regulations and requirements of the Town of Gibbons Land Use Bylaw, the Alberta Safety Codes Act, and all other relevant legislation.

Please note an approval of the Municipal Planning Commission is subject to an appeal period that ends on AUGUST 5, 2025.

MPC 25.012 MOTION CARRIED

6.0 NEXT MUNICIPAL PLANNING COMMISSION MEETING
--

Member Millante moved to set the date of the next meeting as August 12, 2025, if required.

MPC 25.013 MOTION CARRIED

7.0 ADJOURNMENT

There being no further business Chair Yushchyshyn adjourned the meeting at 6:35 pm.

Chair Yushchyshyn

Interim CAO Eric Lowe

MUNICIPAL PLANNING COMMISSION (MPC)
REQUEST FOR DECISION

Proposed Development: Single Family Dwelling

Subject Site: Lot 25, Block 31, Plan 192 2297 – 27 Maple Crescent, Gibbons, AB
Zoning: R-1C Single Family Small Lot Residential
Permit Number: 25-D0038

Application Information

An application for the construction of a single family dwelling was received by the planning department and deemed complete on July 30, 2025. The proposed development is a permitted use in the R-1C Single Family District and requires a variance of 12.5% to the maximum site coverage and as such has come to MPC for a decision.

Section 4.4 of the Land Use Bylaw 8-06 provides that the maximum site coverage be 35%. The proposed application proposes a site coverage of 40%. All other development regulations in the districts are met.

Recommendation

That the Municipal Planning Commission approve the application for the construction of a Single Family Dwelling with a lot coverage of 40% to be located at Lot 25; Block 31; Plan 192297 – 27 Maple Crescent, Gibbons, AB with the following conditions:

1. Development shall proceed in accordance with the attached plans.
2. Prior to occupancy of the development, the Registered Owner/Applicant shall obtain a post-construction Lot Grading Certificate, prepared by a registered Alberta Land Surveyor, and provide the Certificate to the Development Officer. The Lot Grading Certificate must demonstrate that the post-construction lot grades, drainage, and elevations are consistent with the approved Lot Grading and Drainage Plan, included in the attached plans.
3. The development shall utilize the existing municipal services for the lot. Should any new or expanded municipal services be required to service the development, the applicant will be required to enter into and abide by a Development Agreement with the Town of Gibbons, provide security, and install services, at the Developer's sole expense, in accordance with the Town of Gibbons Municipal Servicing Standards for Development.
4. The Developer shall arrange for the inspection, by the Town Operations Department, of the water and sewer line hookups prior to backfilling. The Town shall install the water meter and turn on the water once heat has been provided to the development if required (no risk of freezing). The Developer is not authorized to access the curb stop.
5. The Developer is responsible for ensuring that pre-construction and post construction site inspections are completed by Town Operations Department and that any concrete, lane ways or other municipal works damaged during construction by vehicles and equipment are restored to the original state at the Developer's sole expense, to the satisfaction of the Town Operations Department.
6. If the development authorized on this development permit is not commenced within twelve (12) months of the Date of Issuance, or the applicant has not obtained an approved Building Permit within twelve (12) months from the Date of Issuance, the Development Permit shall be deemed void.

7. The Applicant/Registered Owner shall ensure there is no damage to municipal property resulting from this permit. Costs for repairs of municipal property will be assessed by the Town of Gibbons and will be charged back to the applicant.

NOTES:

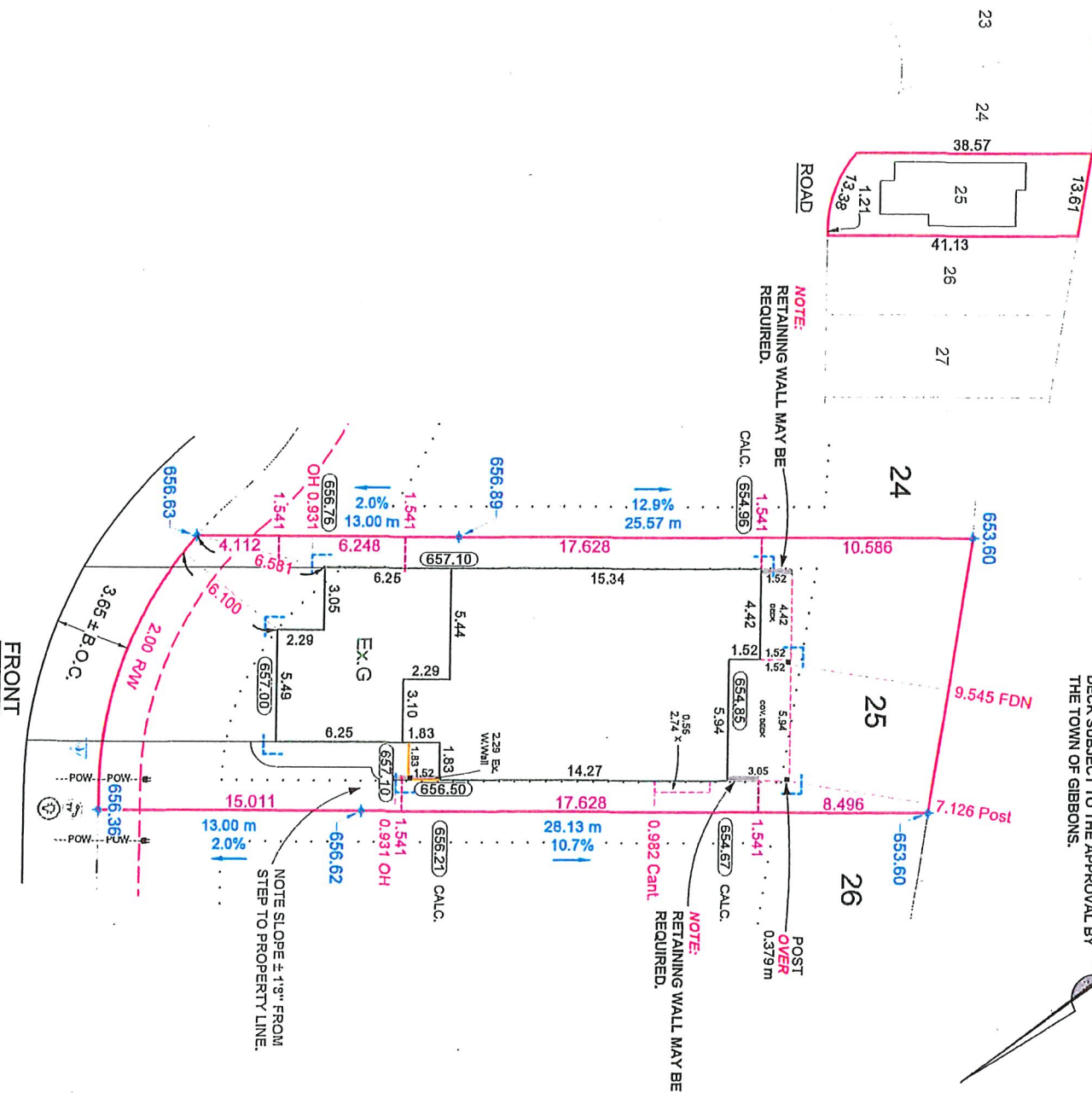
1. If the development is found to be incorrectly placed, the applicant may be required to move or remove the development at the sole expense of the Applicant/Registered Owner. Any proposed change considered to be substantial or inconsistent with this approval, as determined by the Development Officer, may be subject to a separate development permit application/approval.
2. An appeal can be made by filing a written notice of appeal along with payment to the **Subdivision and Development Appeal Board (4807 50 Avenue, Box 68, Gibbons, AB, T0A 1N0)** within 21 days from the date of the receipt of this decision. In the case of an appeal made by a person referred to in section 685(2) of the *Municipal Government Act*, within 21 days after the date on which the notice of the issuance of the permit was given.
3. **This is a Development Permit ONLY.** Issuance of this Permit does not excuse the applicant from satisfying all other applicable municipal, provincial and/or federal requirements.
4. A person applying for, or in possession of a valid Development Permit is not relieved from full responsibility for ascertaining and complying with or carrying out development in accordance with the conditions of any covenant, caveat, easements, or other instrument effecting the building or the land.

Submitted By:

Terra Pattison,
Acting Development Officer

PLOT PLAN

NOTE:
DECK SUBJECT TO THE APPROVAL BY
THE TOWN OF GIBBONS.



ELEVATION DETAILS

HOUSE TYPE:	1 STOREY
FINISHED FLOOR:	657.94
BOTTOM OF FOOTING:	654.69
BASEMENT HEIGHT:	9'0"
FINISHED GRADE AT FRONT STEP:	657.10
4 RISE, DOWN 4"	
FINISHED GRADE AT BACK OF HOUSE:	
WALKOUT - 654.85	
GRADE BELOW BACK/SIDE DOOR SILL:	
GRADE BELOW BASEMENT WINDOWS:	WELL AS RECD
TOP OF CONCRETE BASEMENT WALL:	657.64
GARAGE FLOOR:	*SEE NOTES*
SANITARY SEWER SERVICE INVERT:	653.51
FOOTING SIZE:	0.20

NOTES

- BUILDER/OWNER RESPONSIBLE TO ENSURE BACK FILL LEVELS MEET ALL CODES.
- BUILDER/OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED BY THE LOCAL APPROVING AUTHORITY
- ALL DISTANCES SHOWN ARE IN METERS AND DECIMALS THEREOF.
- ALL DIMENSIONS AND SERVICES SHOWN MUST BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.
- EXTERIOR CLADDING MAY ALTER DIMENSIONS
- THE ELEVATION OF THIS HOUSE HAS BEEN DESIGNED SO THAT IT WILL BE IN CONFORMANCE WITH THE LOT GRADING PLAN.
- **RAIN WATER LEADERS TO BE DETERMINED.**
(NO INFORMATION ON ENGINEERING, CONTACT ENGINEER PRIOR TO CONSTRUCTION)

DETAILS

- LOT AREA: 548.15 m² (5911.0 ft²)
- HOUSE AREA: 220.95 m² (2378.3 ft²)
- HOUSE COVERAGE: 40.24 %
- UNCOV. DECK AREA: 6.74 m² (72.5 ft²)
- UNCOV. DECK COVERAGE: 1.23 %
- COV. DECK AREA: 18.12 m² (195.0 ft²)
- COV. DECK COVERAGE: 3.30 %
- TOTAL COVERAGE: 44.76 %
- DRIVEWAY AREA: 103.33 m² (1112.2 ft²)

LEGEND

PROPOSED CLEAN OUT
PROPOSED STREET LIGHT
PROPOSED C.C. LOCATION
PROPOSED TRANSFORMER

PROPOSED HYDRANT
PROPOSED SERVICE PEDESTAL
PROPOSED POWER SERVICE
PROPOSED FENCE LINE

PROPOSED BACK OF CURB
PROPOSED BACK OF WALK
PROPOSED UTILITY VAULT

B.O.C.
B.O.W.
L.O.L.
DESIGN GRADE ELEVATION
AS-BUILT ELEVATION
PROPOSED ELEVATION
CENTERLINE ELEVATION

CL 0.00 +
0.00
0.00
0.00

LEGAL INFORMATION

LOT	BLOCK	PLAN NUM.
25	31	192 2297
CIVIC ADDRESS:		
27 MAPLE CRESCENT		
LOCATION	SUBDIVISION	
GIBBONS	LANDING TRAILS	



Pals Geomatics
Corp.

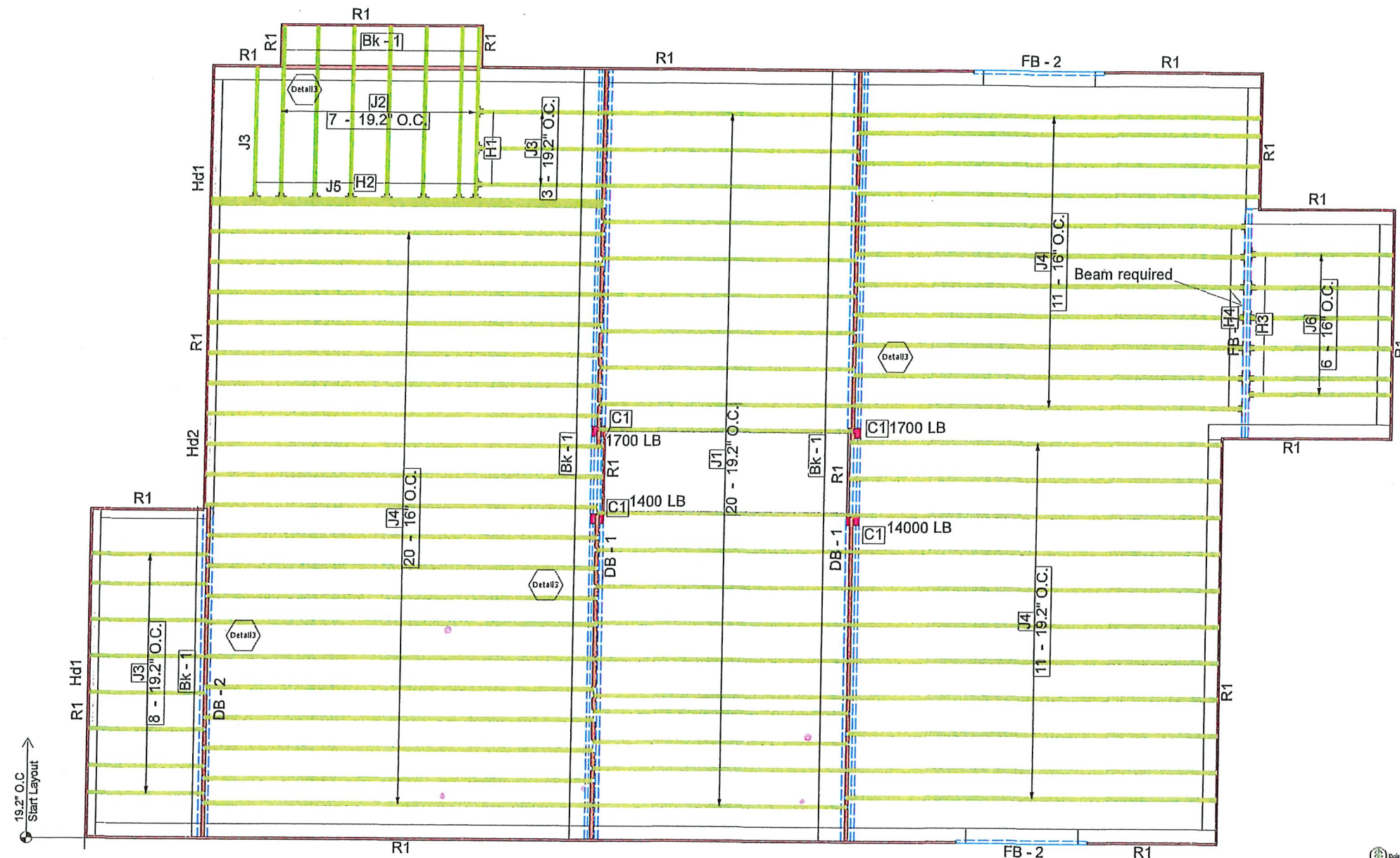
EMAIL: PLOTPLAN@PALSGEOMATICS.COM
PHONE: 780-455-3177
FAX: 780-481-1301
10704 - 176TH STREET NW
EDMONTON, ALBERTA T5S 1G7



BUILDER/OWNER: ROMA HOMES
MODEL: (STANDARD)
JOB NUM.:
LOT ZONING: R-1C

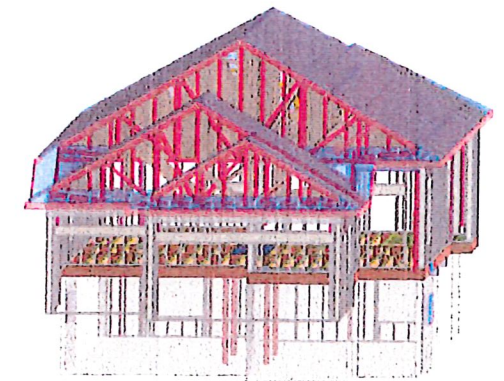
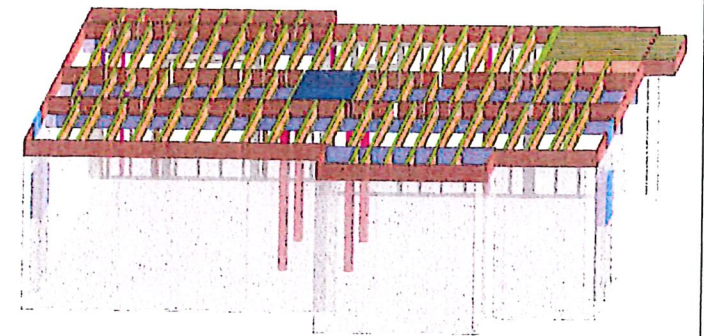
DWG DETAILS

Rev. No.	Date	Drawn By	Description
PP	6/3/25	JGRAY	



19.2\"/>

DB - 1



This model is available to view in 3D for free with the MiTek Viewer app for Phone, Tablet or Desktop. Ask us how at winterburn@nlc.ca

Products				
PlotID	Length	Product	Plies	Net Qty
J1	12-00-00	11-7/8" BCI® 5000-1.7 DF	1	20
J2	8-00-00	11-7/8" BCI® 5000-1.7 DF	1	7
J3	6-00-00	11-7/8" BCI® 5000-1.7 DF	1	12
J4	18-00-00	11-7/8" BCI® 6000-1.8 DF	1	42
J5	18-00-00	11-7/8" BCI® 6000-1.8 DF	2	2
J6	8-00-00	11-7/8" BCI® 6000-1.8 DF	1	6
DB - 1	34-00-00	1-3/4" x 9-1/2" VERSA-LAM® LVL 2.1E 2800 DF	4	8
DB - 2	16-00-00	1-3/4" x 9-1/2" VERSA-LAM® LVL 2.1E 2800 DF	3	3
FB - 1	12-00-00	1-3/4" x 11-7/8" VERSA-LAM® LVL 2.1E 2800 DF	2	2
FB - 2	6-00-00	1-3/4" x 11-7/8" VERSA-LAM® LVL 2.1E 2800 DF	1	2
R1	12-00-00	1-1/8X11-7/8 OSB Plus	1	16
Bk - 1	2-00-00	11-7/8" BCI® 5000-1.7 DF	1	80
C1	8-02-08	RJ25X108 (18400bs) CW"C 5,25"X7"	1	4

Wall Framing				
PlotID	Length	Product	Plies	Net Qty
Hd1	6-00-00	2x10 SPF No.2	2	4
Hd2	3-00-00	2x10 SPF No.2	2	2

Connector Summary			
PlotID	Qty	Manuf	Product
H1	3	MiTek	TFL20118
H2	8	MiTek	TFL20118
H3	6	MiTek	TFL20118
H4	7	MiTek	TFL23118

Ref Number: 251066
 Customer Name: Roma Homes
 Job Name: Lot 25-31 Landing Trails
 Location: 27 Maple Cres, Gibbons, AB
 LOT: 25, BLK: 31, PLAN: 192-2297
 Sales Person: Drew Zinnick

Floor Loadings	
Type	Residential
TC Live	40.0 lb/ft ²
TC Dead	10.4 lb/ft ²
BC Dead	5.2 lb/ft ²
Total Load	-
Date:	7/7/2025
Revision Dates	

Main Floor Layout

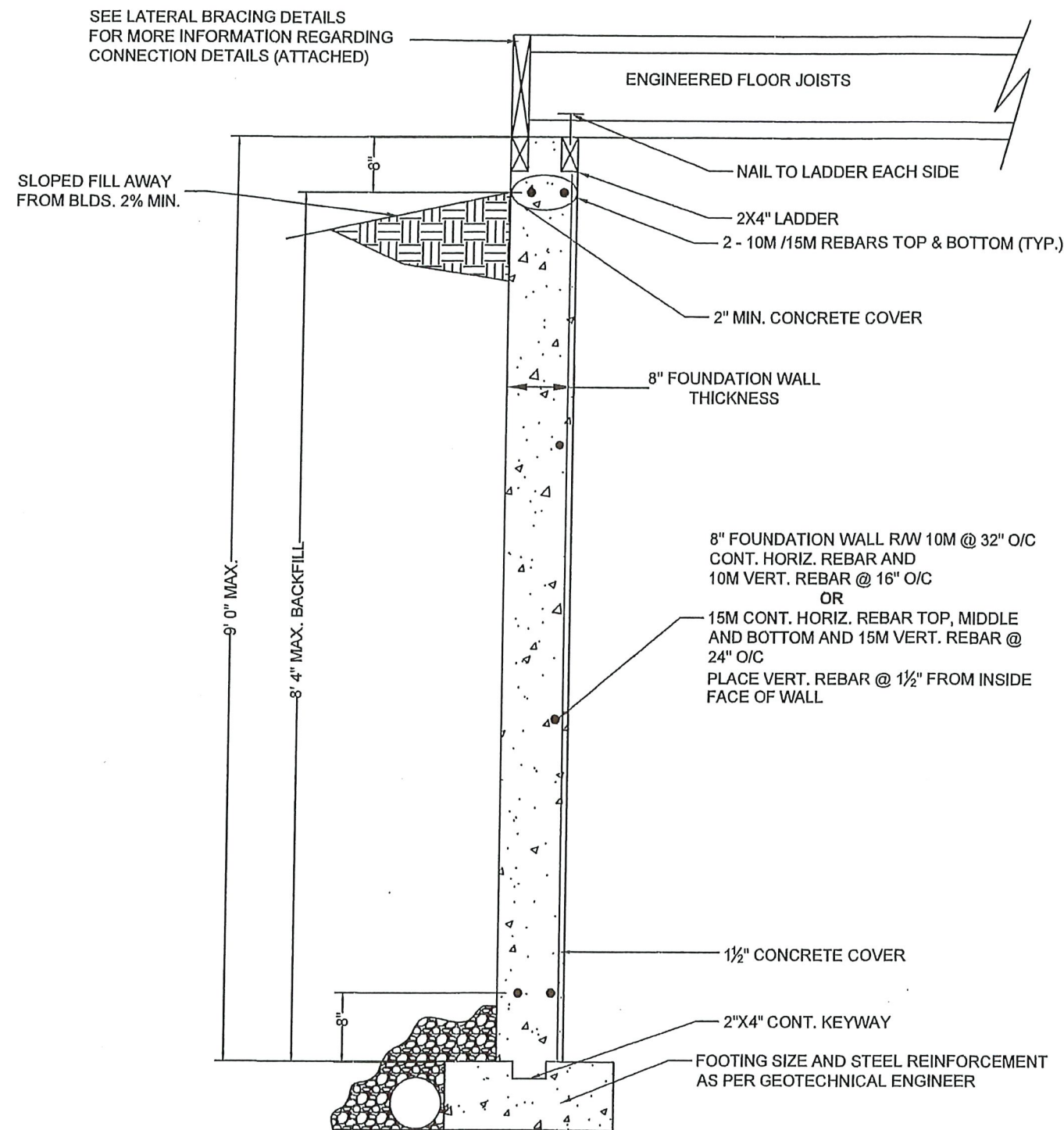
This is a placement plan only and is to be used in conjunction with the architectural drawings. Refer to Boise Handling & Installation Recommendations for proper installation procedures. Locate all plumbing and mechanical drops prior to installation. Any discrepancies between the layout and plans are to be reported back to Nelson Lumber prior to construction. Web stiffeners are required if the top flange of i-joist is not supported by the hanger. Provide min 2x6 blocking at all locations where point loads are required to transfer loads through the floor joist system. Absolutely no joists, beams or floor trusses are to be modified without contacting Nelson Lumber first. Loads noted are factored unless noted otherwise. Layouts & Engineered Drawings have been created using MiTek software version 8.8.3.256. See drawings for spacing, piles, bracing, and nailing/screw patterns. All loads are factored loads

DO NOT SCALE DRAWING



Winterburn Truss





GENERAL NOTES :

1. ALL OF THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE 2023 (AE).
SEE MANUFACTURER INSTRUCTIONS FOR INSTALLATION/SUPPORT OF ENGINEERED FLOOR JOISTS.

3. CONCRETE

- 32 MPA TYPE 50 (HS) OR SPECIFIED IN SULPHATE TEST REPORT
- ALL CONCRETE EXPOSED TO FREEZE/THAW CYCLE HAS A MINIMUM AIR ENTRAINMENT OF 5-7%
- INTERNAL VIBRATION WITH A 31.8mm (1.25") MECHANICAL VIBRATOR
- MAXIMUM CONCRETE FORM PRESSURE (HURD, THUNMAN) 29kPa

4. REINFORCING STEEL

- IT IS DESIGNED TO CSA A23.3-94
- IT REINFORCES TO CSA CAN-A23.1-M90 AND CSA G30.12.M77
- ITS STRENGTH 400 Mpa

5. PROVIDE WEEPING TILES AROUND FOOTINGS C/W DRAIN GRAVEL

6. FOOTING SIZES AS PER CURRENT ABC AND/OR GEOTECHNICAL ENGINEER'S RECOMENDATIONS

THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND DATA NOTED ON THE STRUCTURAL DRAWING WITH CONDITIONS ON SITE. CO-ORDINATE ALL OF THE DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK, VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ENGINEER. THIS DRAWING NOT TO BE SCALED

ProtechGeo & Material Testing Ltd.

6036 - Gateway Blvd,
Edmonton, AB. T6H 2H6
E-mail: rsgill@protechgeo.com;
Phone: 780-265-3790



PERMIT TO PRACTICE PROTECHGEO & MATERIAL TESTING LTD.

RM SIGNATURE: *H. Sidhu*
RM APEGA ID #: 131831
DATE: June 30, 2025
PERMIT NUMBER: P014414
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

THE CONTRACTOR SHALL
CHECK AND VERIFY ALL
DIMENSIONS AND OTHER
DATA NOTED HEREIN WITH
CONDITIONS ON SITE.

WRITTEN DIMENSIONS
SHALL HAVE PRECEDENCE
OVER SCALED DIMENSIONS

DRAWINGS ARE PROPERTY
OF PROTECHGEO &
MATERIAL TESTING LTD.

Drawing Title: 9' 0" FOUNDATION WALL DESIGN

Client : ROMA HOMES
PTG Project No.: 012825E03

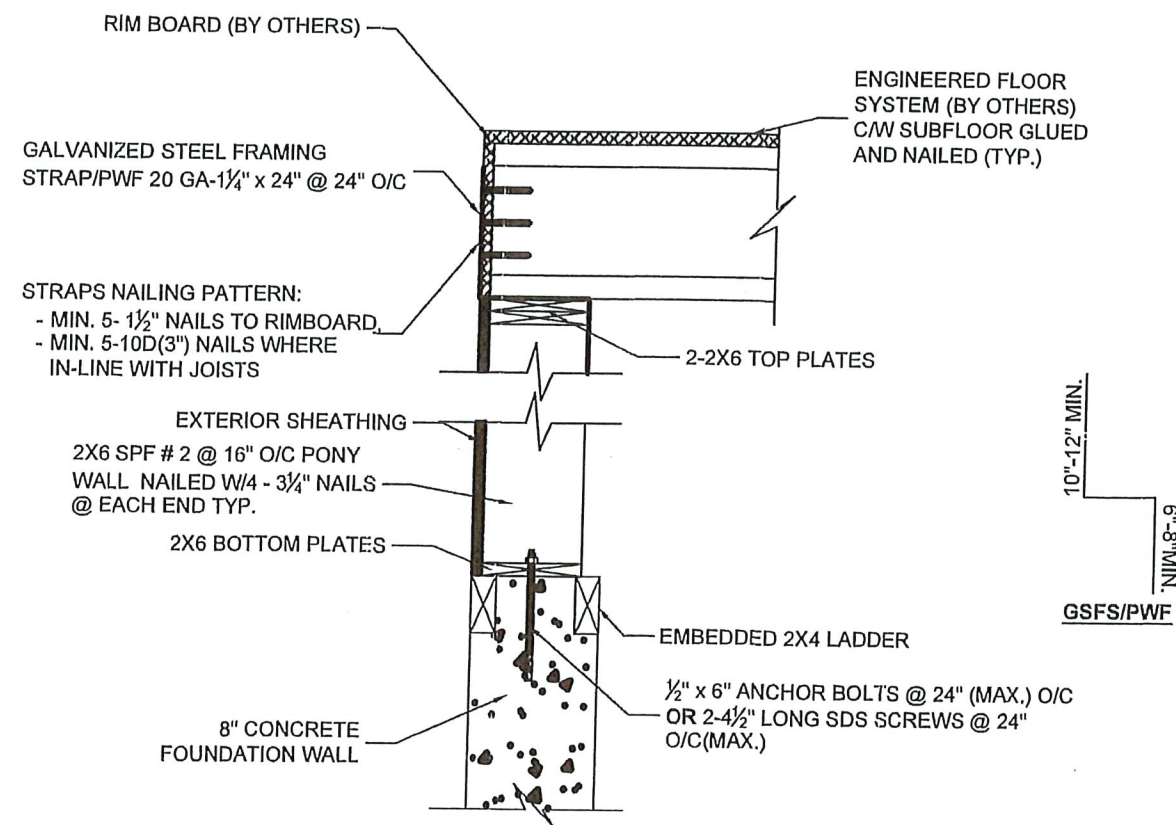
Address : 27 MAPLE CRESCENT,
LANDING TRAILS, GIBBONS, AB.
Legal: LOT 25, BLOCK 31, PLAN 192 2297

Date : June 30, 2025

Scale : N.T.S
Drawn By : H.SIDHU

Drawing No. : HW
Rev No. : 0

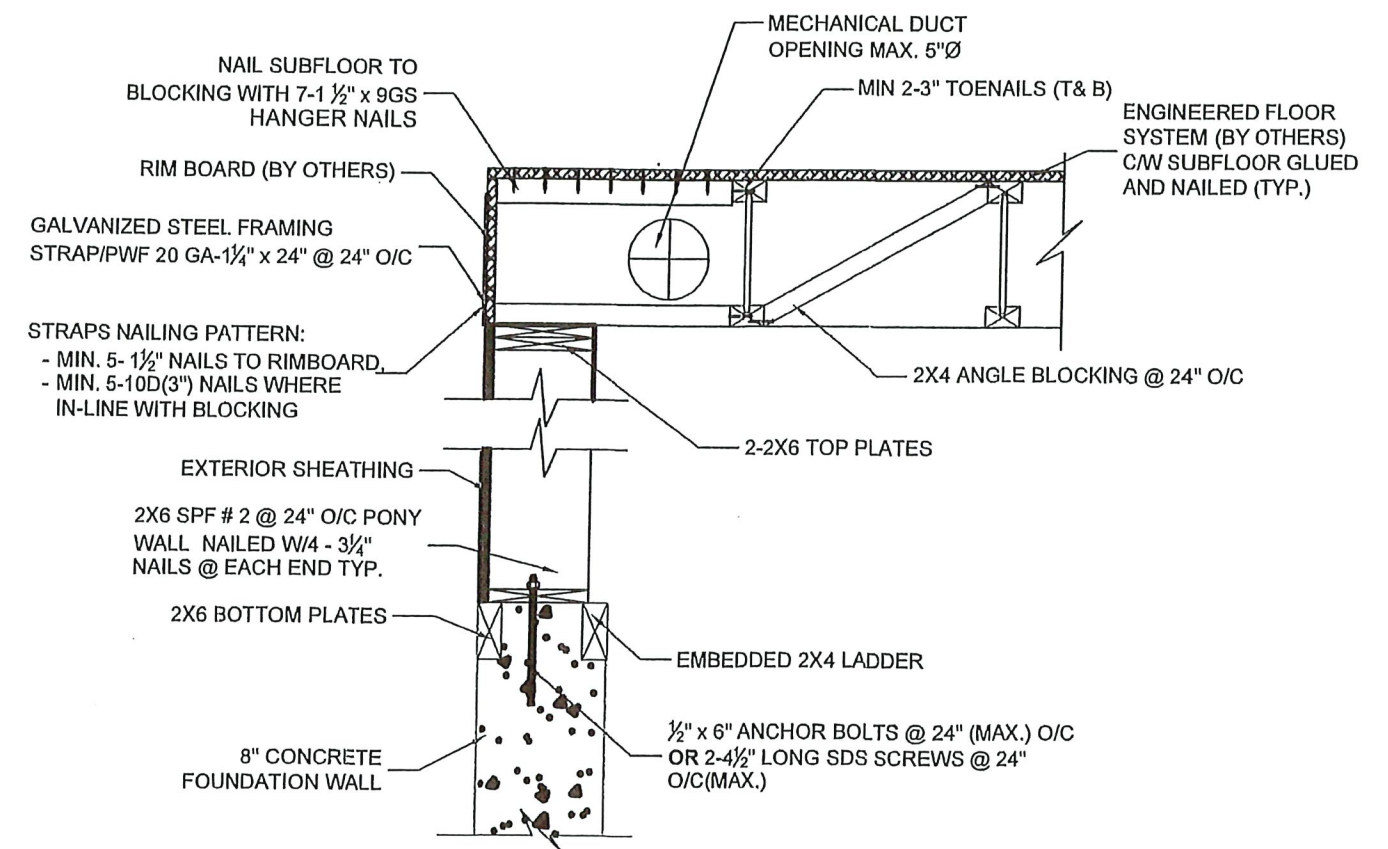
STATUS. : PERMIT APPLICATION



DETAIL : JOISTS PERPENDICULAR TO WALLS

NOTE:

- PONY WALL CONNECTION TO FOUNDATION WALL: SILL PLATE INSTALLED OVER SILL GASKET & AIR FLOW RETARDER 2X6 BOTTOM PLATE
- ELASTOMERE WATERPROOF MEMBRANE REQUIRED ON OUTSIDE WALL IF BACKFILL HEIGHT WITHIN 6" BELOW LADDER



DETAIL : JOISTS PARALLEL TO WALLS

NOTE:

- PONY WALL CONNECTION TO FOUNDATION WALL: SILL PLATE INSTALLED OVER SILL GASKET & AIR FLOW RETARDER 2X6 BOTTOM PLATE
- ELASTOMERE WATERPROOF MEMBRANE REQUIRED ON OUTSIDE WALL IF BACKFILL HEIGHT WITHIN 6" BELOW LADDER

GENERAL NOTES :

1. ALL OF THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH NATIONAL BUILDING CODE 2023 (AE)
2. MINIMUM CONCRETE COMPRESSIVE STRENGTH 32MPA @ 56 DAYS
3. LATERAL LOAD SOIL PRESSURE MAX. 50psf OF DEPTH
4. ALL OF THE NAILS, SPIKES AND STAPLES TO BE IN CONFORMANCE WITH CSA B 111, FOR THE EXTERIOR LOCATIONS USE GALVANISED CONNECTORS AND PWF LUMBER
5. THE FOUNDATION CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCY OR DEVIATION IN EXISTING CONDITION, PRIOR TO WORK PROCEEDING.
6. ALL CANTILEVER AREA PROVIDE 2x6 NAILED AND GLUED TO EACH PERPENDICULAR JOIST PARALLEL TO WALL.
7. INSPECTION BY PROTECHGEO FOR CONFORMANCE TO ABOVE INSTALLATION REQUIREMENTS WILL NOT BE DONE UNLESS SPECIFICALLY REQUESTED BY CLIENT/OWNER.

ProtechGeo & Material Testing Ltd.

6036 - Gateway Blvd,
Edmonton, AB. T6H 2H6
E-mail: rsgill@protechgeo.com;
Phone: 780-265-3790



PERMIT TO PRACTICE
PROTECHGEO & MATERIAL TESTING LTD.

RM SIGNATURE: _____

RM APEGA ID #: 131831

DATE: June 30, 2025

PERMIT NUMBER: P014414

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OVER SCALED DIMENSIONS

DRAWINGS ARE PROPERTY
OF PROTECHGEO &
MATERIAL TESTING LTD.

Drawing Title: PONY WALL LATERAL BRACING

Client : ROMA HOMES
PTG Project No.: 012825E03

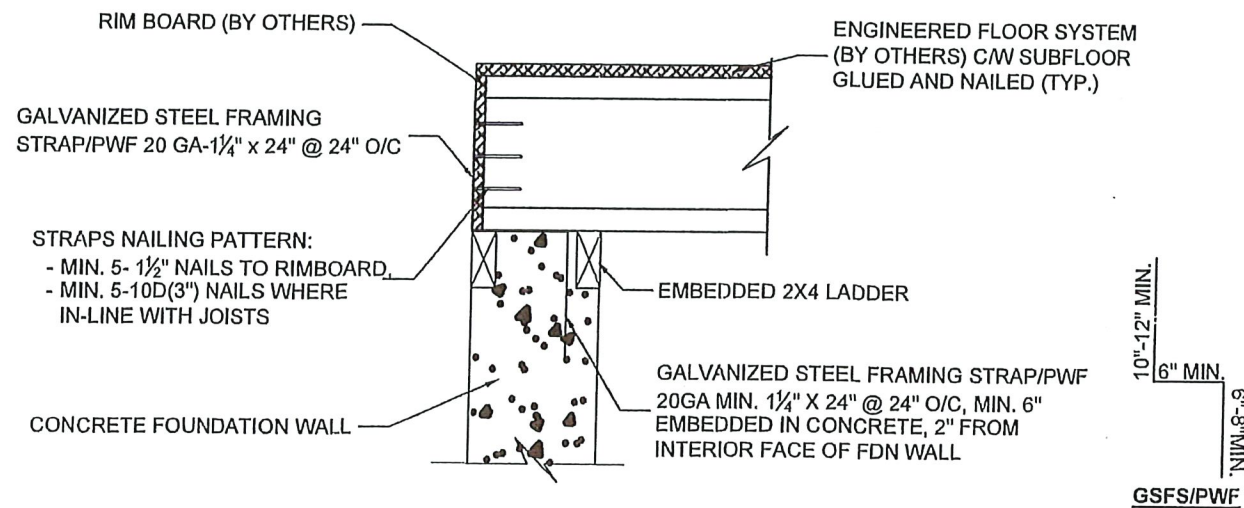
Address : 27 MAPLE CRESCENT,
LANDING TRAILS, GIBBONS, AB.
Legal: LOT 25, BLOCK 31, PLAN 192 2297

Date : June 30, 2025

Drawn By : H.SIDHU
Scale : N.T.S

Drawing No. : LBP
Rev No. : 0

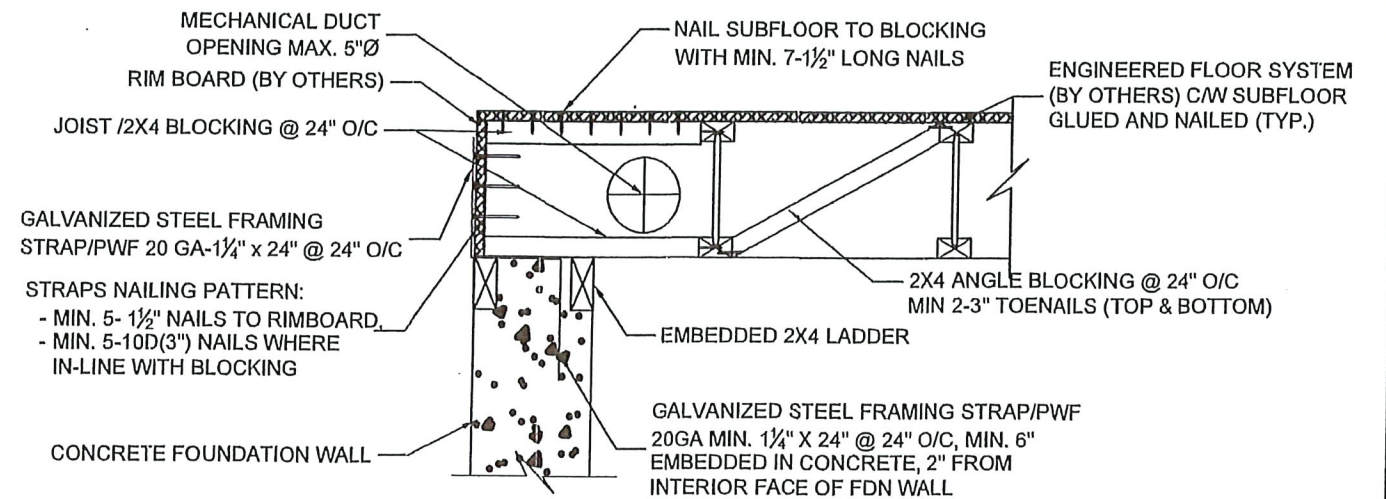
STATUS. : PERMIT APPLICATION



DETAIL : JOISTS PERPENDICULAR TO WALLS

NOTE:

- ELASTOMERE WATERPROOF MEMBRANE REQUIRED ON OUTSIDE WALL IF BACKFILL HEIGHT GREATER THAN 6" BELOW LADDER
- STRAPS REQUIRED ONLY FOR WALLS OVER 15' LENGTH AND AT ANY OF THE OPENINGS.



DETAIL : JOISTS PARALLEL TO WALLS

NOTE:

- ELASTOMERE WATERPROOF MEMBRANE REQUIRED ON OUTSIDE WALL IF BACKFILL HEIGHT GREATER THAN 6" BELOW LADDER
- STRAPS REQUIRED ONLY FOR WALLS OVER 15' LENGTH AND AT ANY OF THE OPENING

LATERAL BRACING DETAIL FOR :
9' 0" MAX. FOUNDATION WALLS WITH 8' 4" MAX. BACKFILL

GENERAL NOTES :

1. ALL OF THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH NATIONAL BUILDING CODE 2023 (AE)
2. MINIMUM CONCRETE COMPRESSIVE STRENGTH 20MPa @ 28 DAYS
3. LATERAL LOAD SOIL PRESSURE MAX. 50psf OF DEPTH
4. ALL OF THE NAILS, SPIKES AND STAPLES TO BE IN CONFORMANCE WITH CSA B 111, FOR THE EXTERIOR LOCATIONS USE GALVANISED CONNECTORS AND PWF LUMBER
5. PROVIDE MIN. 2 STRAPS AT EACH SIDE OF THE WINDOW AND STAIR OPENINGS.
6. THE FOUNDATION CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCY OR DEVIATION IN EXISTING CONDITION, PRIOR TO WORK PROCEEDING.
7. ALL CANTILEVER AREA PROVIDE 2x6 NAILED AND GLUED TO EACH PERPENDICULAR JOIST PARALLEL TO WALL.
8. INSPECTION BY PROTECHGEO FOR CONFORMANCE TO ABOVE INSTALLATION REQUIREMENTS WILL NOT BE DONE UNLESS SPECIFICALLY REQUESTED BY CLIENT/OWNER.

ProtechGeo & Material Testing Ltd.

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Phone: 780-265-3790



PERMIT TO PRACTICE
PROTECHGEO & MATERIAL TESTING LTD.

RM SIGNATURE: _____
RM APEGA ID #: 131831
DATE: June 30, 2025
PERMIT NUMBER: P014414
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

THE CONTRACTOR SHALL
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SHALL HAVE PRECEDENCE
OVER SCALED DIMENSIONS
DRAWINGS ARE PROPERTY
OF PROTECHGEO &
MATERIAL TESTING LTD.

Drawing Title: LATERAL BRACING DESIGN

Client : ROMA HOMES
PTG Project No.: 012825E03

Address : 27 MAPLE CRESCENT,
LANDING TRAILS, GIBBONS, AB.
Legal: LOT 25, BLOCK 31, PLAN 192 2297

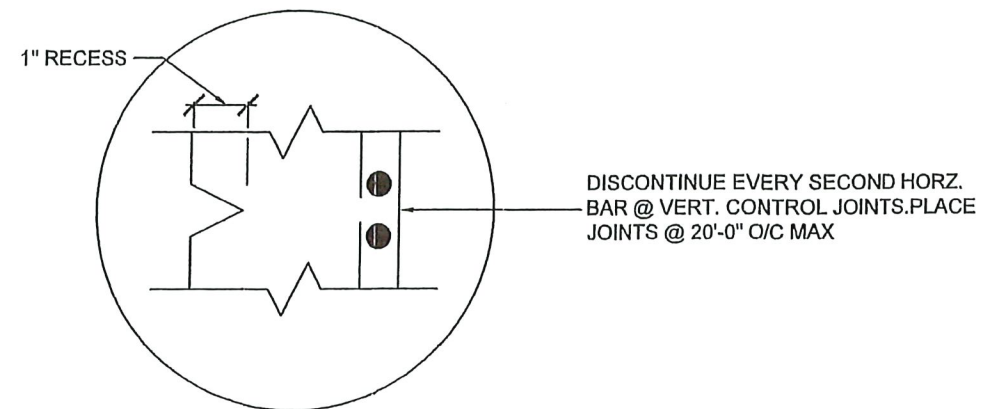
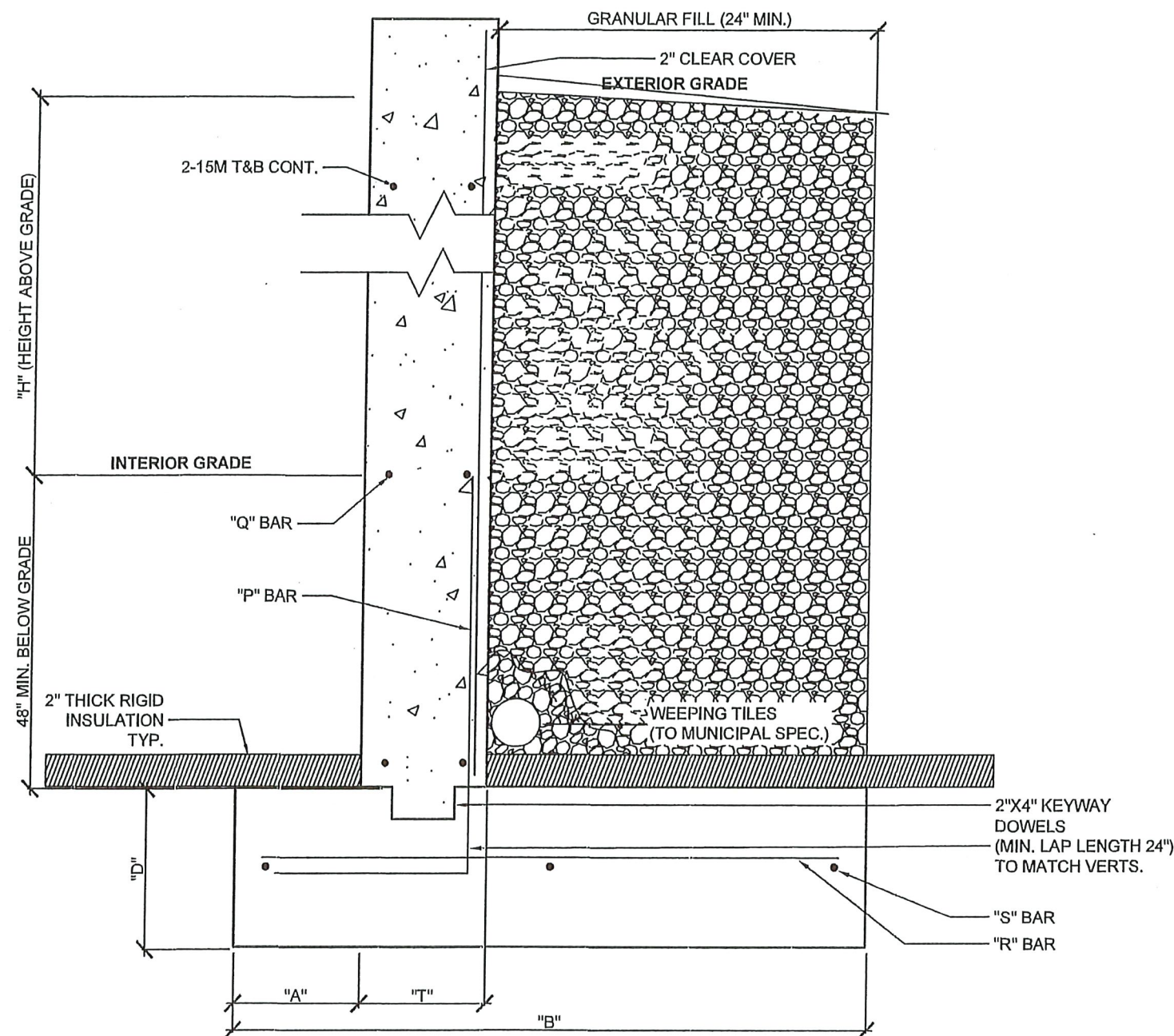
Date : June 30, 2025

Scale : N.T.S
Drawn By : H.SIDHU

Drawing No. : LB

Rev No. : 0

STATUS. : PERMIT APPLICATION



HEIGHT "H"	TOE LENGTH "A"	FOOTING WIDTH "B"	FOOTING THICKNESS "D"	WALL THICKNESS "T"	VERT. REINF. & BENT DOWELS "P" BAR	HORIZ. REINF "Q" BAR	FOOTING TOP REINF "R" BAR	FOOTING CONT. "S" BAR
2'-0"	0'-8"	2'-0"	0'-10"	0'-8"	15M @ 18"	15M @ 18"	N/A	2-15M CONT.
3'-0"	0'-8"	2'-0"	0'-10"	0'-8"	15M @ 18"	15M @ 18"	N/A	2-15M CONT.
4'-0"	0'-8"	3'-4"	0'-10"	0'-8"	15M @ 18"	15M @ 18"	15M @ 16"	3-15M CONT.
5'-0"	0'-8"	3'-4"	0'-10"	0'-8"	15M @ 18"	15M @ 18"	15M @ 16"	3-15M CONT.
6'-0"	0'-8"	4'-8"	1'-0"	0'-8"	15M @ 18"	15M @ 18"	15M @ 14"	5-15M CONT.
7'-0"	0'-10"	5'-6"	1'-0"	0'-8"	15M @ 14"	15M @ 18"	15M @ 14"	6-15M CONT.
8'-0"	1'-2"	6'-4"	1'-0"	0'-10"	15M @ 12"	15M @ 16"	15M @ 12"	6-15M CONT.

* PROVIDE CONNECTION TO THE HOUSE FOUNDATION WALL HORIZONTAL REBARS, IF APPLICABLE (EMBED MIN 24" IN LENGTH)

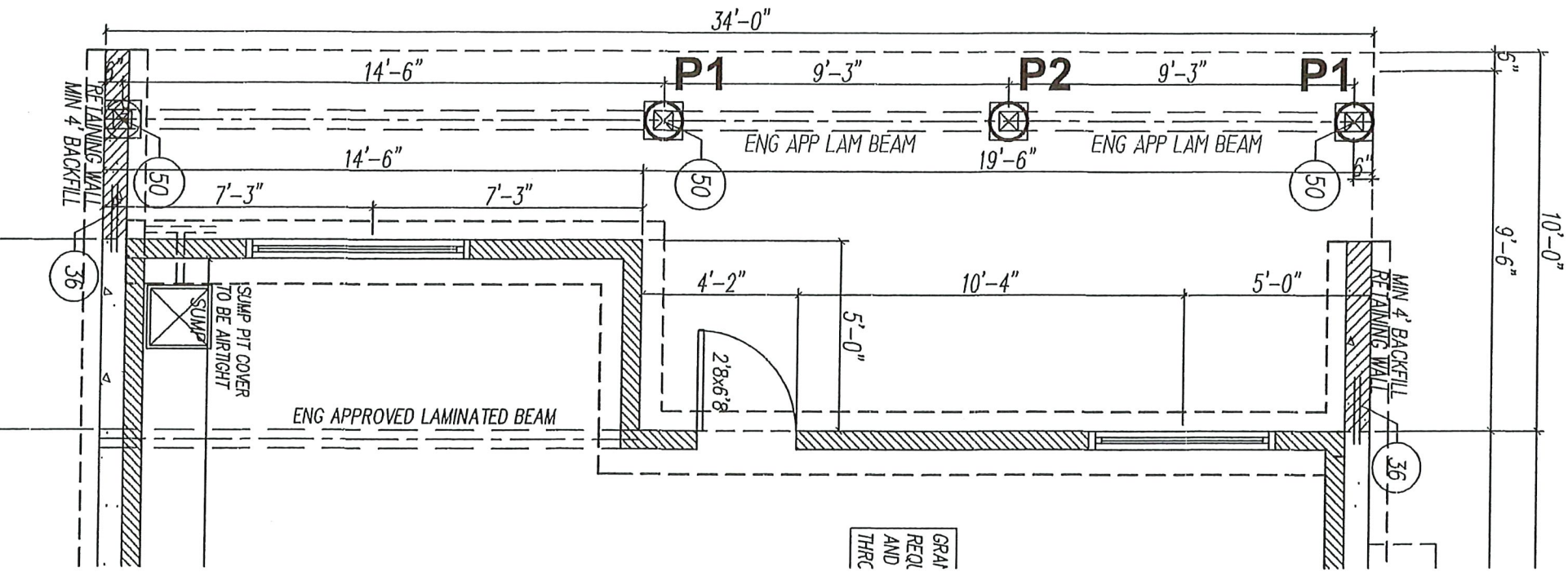
DESIGN SPECIFICATIONS :-

1. CONCRETE
 - 32 MPA TYPE 50 (HS) OR SPECIFIED IN SULPHATE TEST REPORT
 - ALL CONCRETE EXPOSED TO FREEZE/THAW CYCLE HAS A MINIMUM AIR ENTRAINMENT OF 5-7%
 - INTERNAL VIBRATION WITH A 31.8mm (1.25") MECHANICAL VIBRATOR
 - MAXIMUM CONCRETE FORM PRESSURE (HURD, THUNMAN) 29kPa
2. REINFORCING STEEL
 - IT IS DESIGNED TO CSA A23.3-94
 - IT REINFORCES TO CSA CAN-A23.1-M90 AND CSA G30.12.M77
 - ITS STRENGTH 400 Mpa
3. NO VEHICLE TRAFFIC OR BUILDING FOUNDATIONS TO BE LOCATED NEXT TO RETAINING WALL.
4. IT IS THE RESPONSIBILITY OF OTHERS TO CONFIRM CONSTRUCTION IS IN CONFORMANCE WITH DRAWING.
5. IF THE DETAILS IN THIS DRAWING ARE NOT OR CANNOT BE FOLLOWED ACCURATELY PLEASE CALL FOR ADDITIONAL RECOMMENDATIONS.

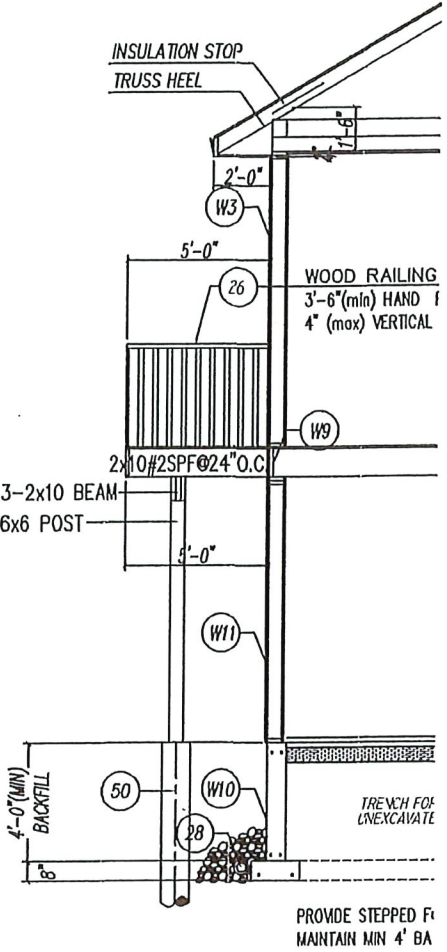
NOTE : PILE RECOMMENDATIONS ARE MARKED ON THE PLAN PROVIDED BY THE CLIENT

NOTE : PRESSURE TREATED LUMBER AND CORROSION RESISTANCE METAL CONNECTORS SHALL BE USED FOR CONSTRUCTION.

DECK FOUNDATION PLAN



DECK SIDE ELEVATION



SCREW PILE SIZE AND TORQUES TO BE DETERMINED BY PILING CONTRACTOR BASED ON PILE SCHEDULE:

PILE SCHEDULE

P1: 12,000 lb(Factored)
P2: 6,000 lb(Factored)

Min Depth of Helix Below Ground: 10'
CSA 40.20-13/G40.21-13

WELDED STRUCTURAL QUALITY STEEL 300MPa

PILE INSTALLATION RECORDS MUST BE KEPT BY BUILDER AND PILING CONTRACTOR

OR

- CONC. PILE UNDER DECK IS 12" DIA. X 14' DEEP R/F 2-15M VERT. REBARS
- DESIGN OF PILE BASED ON MIN. ALLOWABLE SKIN FRICTION OF 15 kPa. (BASED ON STIFF SOIL CONDITIONS, IF DIFFERENT SOIL CONDITIONS ENCOUNTERED UNDERSIGNED SHOULD BE NOTIFIED).
- 32 MPa TYPE 50(HS) CONCRETE OR SPECIFIED IN SOIL REPORT
- ALIGN POST ON TOP OF PILE (DECK)

ProtechGeo & Material Testing Ltd.

6036 - Gateway Blvd,
Edmonton, AB. T6H 2H6
E-mail: rsgill@protechgeo.com;
Phone: 780-265-3790



PERMIT TO PRACTICE
PROTECHGEO & MATERIAL TESTING LTD.

RM SIGNATURE: *[Signature]*
RM APEGA ID #: 131831
DATE: June 30, 2025
PERMIT NUMBER: P014414
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND OTHER DATA NOTED HEREIN WITH CONDITIONS ON SITE.
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS
DRAWINGS ARE PROPERTY OF PROTECHGEO & MATERIAL TESTING LTD.

Drawing Title: COVERED DECK PILES

Client : ROMA HOMES
PTG Project No.: 012825E03

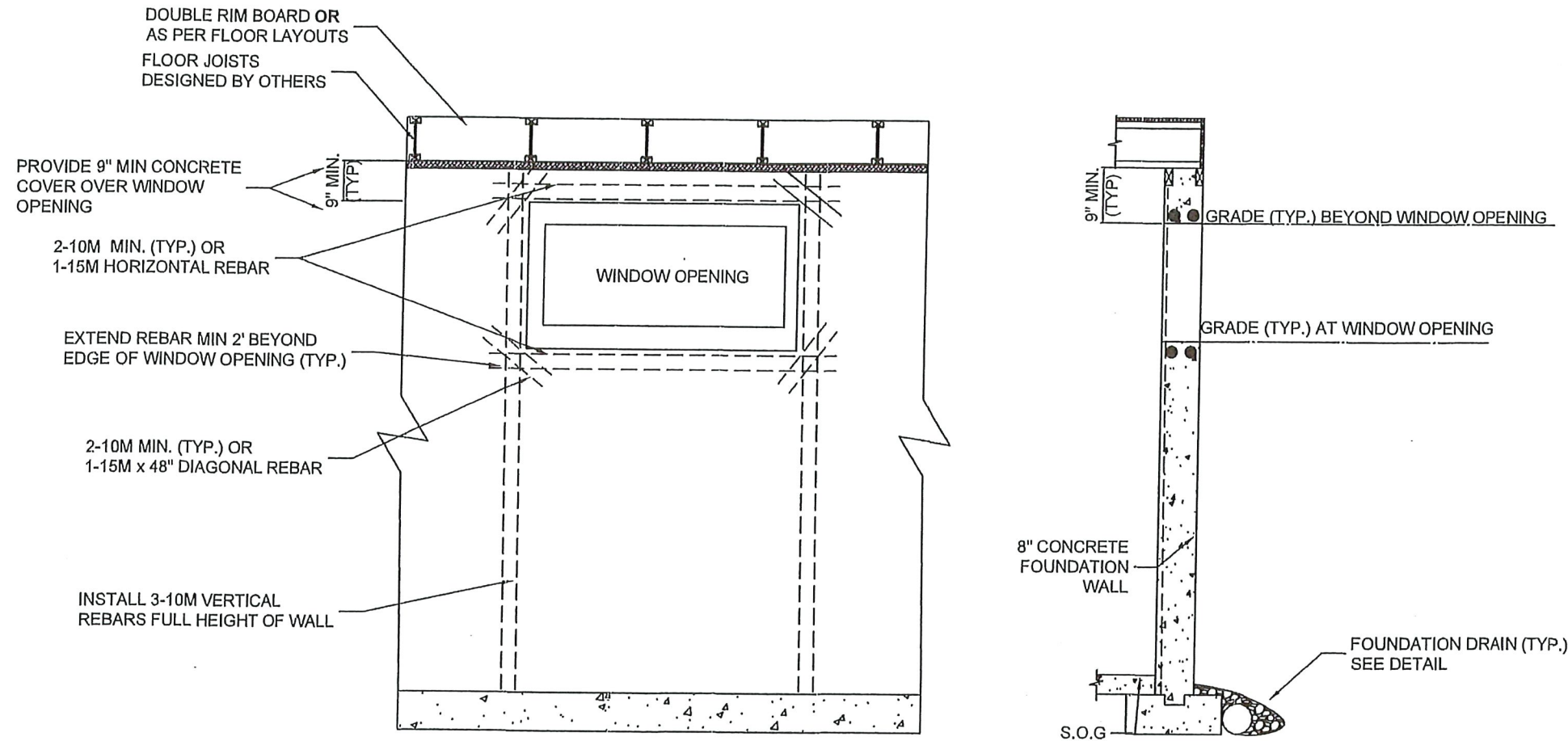
Date : June 30, 2025

Drawn By : H.SIDHU
Scale : N.T.S

Address : 27 MAPLE CRESCENT,
LANDING TRAILS, GIBBONS, AB.
Legal: LOT 25, BLOCK 31, PLAN 192 2297



Drawing No. : PD
Rev. No. : 0
STATUS : PERMIT APPLICATION

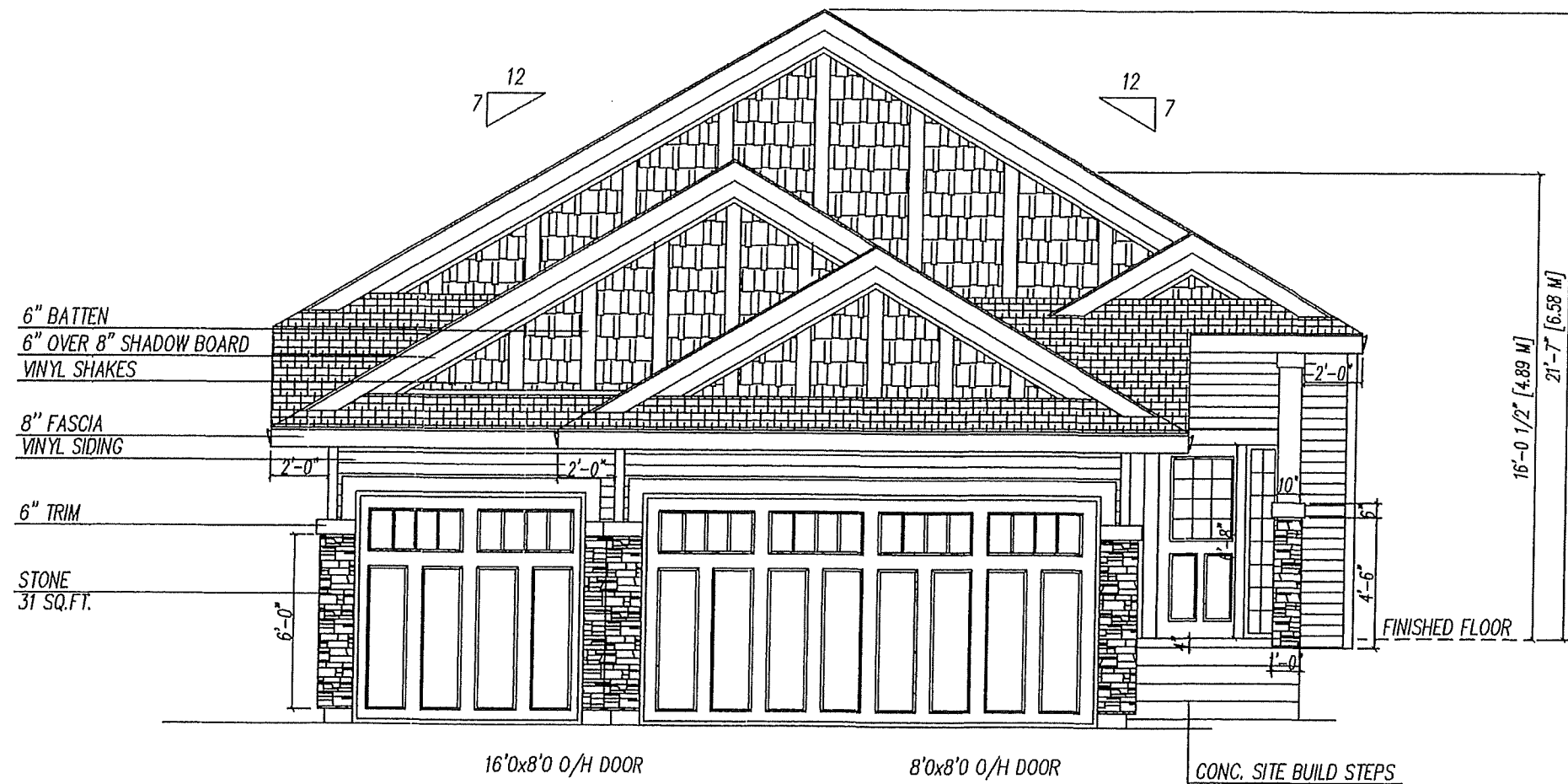
RESIDENTIAL CONCRETE FOUNDATION WALL WINDOW OPENINGS
(WHERE OPENINGS ARE WIDER THAN 48" OR THE TOTAL WINDOW OPENINGS EXCEEDS 25% OF WALL LENGTH)



SPECIFICATIONS:

1. PROVIDE A MINIMUM 9' DEPTH OF CONCRETE ABOVE WINDOW ROUGH OPENING FOR LINTEL.
2. INSTALL 2-10M (OR 1-15M) HORIZONTAL REBAR ABOVE AND 2-10M (OR 1-15M) REBAR BELOW EACH OPENING.
3. EXTEND REBAR MINIMUM 2' 0" BEYOND THE SIDES OF EACH OPENING. WHERE OPENINGS ARE SPACED LESS THAN 3' 0" APART, USE FULL LENGTH BARS TO SPAN ACROSS ALL OPENINGS. IF HORIZONTAL BARS NEED TO BE LAPPED, PROVIDE 2' 0" LAPPING BETWEEN BARS
4. INSTALL 3-10M (OR 2-15M) VERTICAL REBAR ON BOTH SIDES OF WINDOW OPENING. PLACE BARS 6" APART ALONG INSIDE FACE FOR FULL HEIGHT OF WALL.
5. INSTALL 2-10M (OR 1-15M) X 48" LONG REBAR DIAGONALLY AT EACH WINDOW CORNER TO REDUCE POTENTIAL TRANSVERSE CRACKING
6. PLACE ALL REBARS A MINIMUM OF 2" FROM EDGE OF OPENING AND EXPOSED SURFACES.
7. INSTALL DOUBLE LAYER OF ENGINEERED RIM BOARD OVER EACH WINDOW OPENING TO ADEQUATELY SUPPORT LOADS FROM ABOVE OR AS PER FLOOR SUPPLIER/FLOOR LAYOUTS
8. PROVIDE LATERAL BRACING AT TOP OF WALL AS PER TYPICAL DETAILS WHERE JOIST ARE PARALLEL OR PERPENDICULAR TO CONCRETE WALLS.
9. INSPECTION BY PROTECHGEO FOR CONFORMANCE TO ABOVE INSTALLATION REQUIREMENTS WILL NOT BE DONE UNLESS SPECIFICALLY REQUESTED BY CLIENT/OWNER.

 6036 - Gateway Blvd, Edmonton, AB. T6H 2H6 E-mail: rsgill@protechgeo.com; Phone: 780-265-3790		 APEGA ID: 131831 2025-06-30	PERMIT TO PRACTICE PROTECHGEO & MATERIAL TESTING LTD. RM SIGNATURE: _____ RM APEGA ID #: 131831 DATE: June 30, 2025 PERMIT NUMBER: P014414 The Association of Professional Engineers and Geoscientists of Alberta (APEGA)		THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND OTHER DATA NOTED HEREIN WITH CONDITIONS ON SITE. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS DRAWINGS ARE PROPERTY OF PROTECHGEO & MATERIAL TESTING LTD.		Drawing Title: WINDOW REINFORCEMENT DESIGN			
			Client : ROMA HOMES PTG Project No.: 012825E03		Address : 27 MAPLE CRESCENT, LANDING TRAILS, GIBBONS, AB. Legal: LOT 25, BLOCK 31, PLAN 192 2297		Drawing No. : WR		STATUS. : PERMIT APPLICATION	
			Date : June 30, 2025		Scale : N.T.S Drawn By : H.SIDHU		Rev No. : 0			



FRONT ELEVATION

HI-TECH DESIGNS
CANADA LTD.
6734 75 ST NW #2
EDMONTON, AB, T6E 6T9
PHONE: (780) 450-4512
FAX: 1-888-872-6593

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CONTRACTOR / BUILDER SHALL VERIFY ALL SPECIFICATIONS AND
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OR OMISSIONS TO THIS OFFICE. ALL DIMENSIONS SHALL BE READ NOT SCALED.

LOT-25, BLOCK-31, PLAN-192 2297
LANDING TRAILS
27 MAPLE CRESCENT, GIBBONS

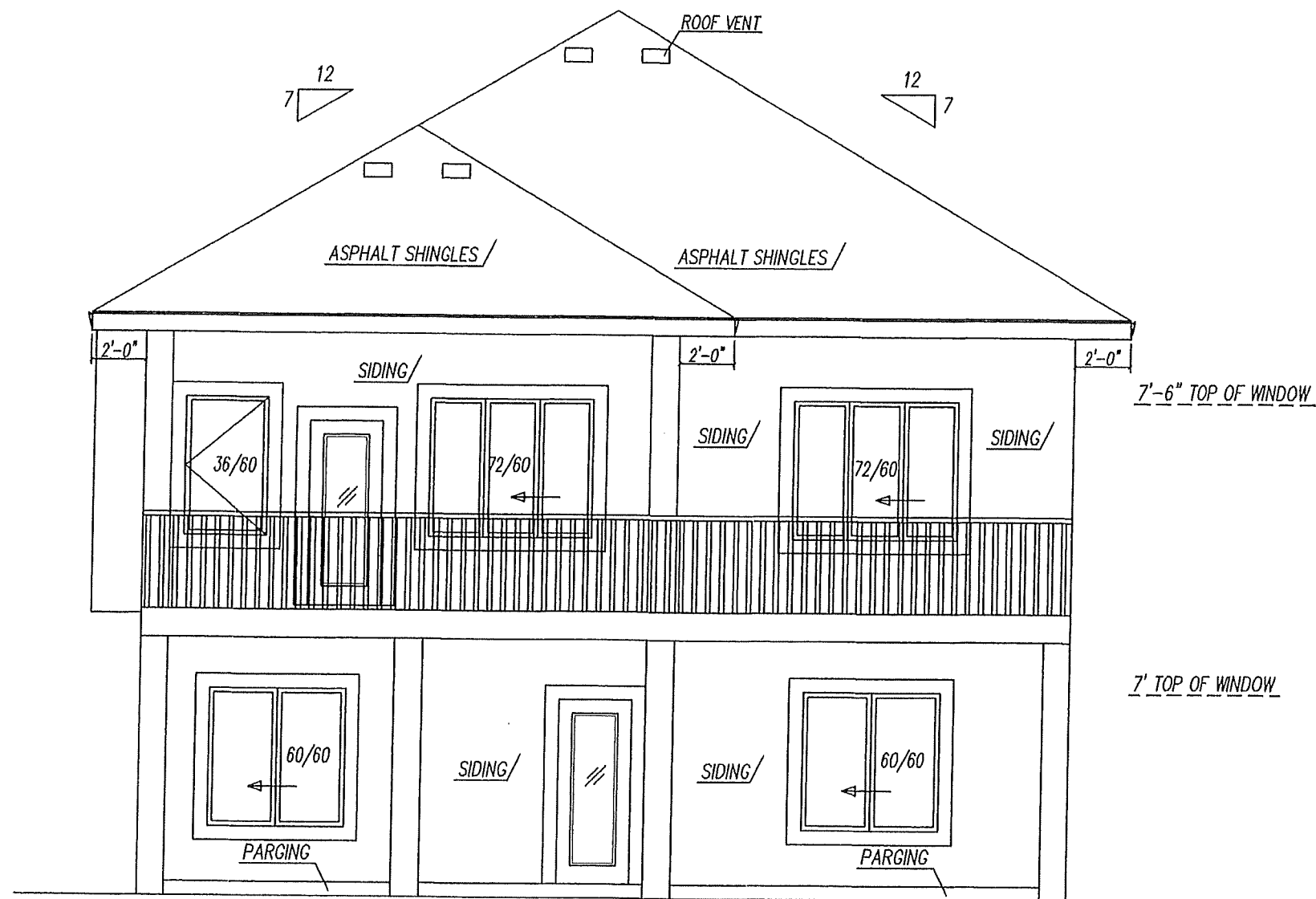
AREA
1716 SQ.FT.

BUILDER/CLIENT

ROMA HOMES

DESIGNED	SCALE 3/16"=1'-0
DRAWN	DRAWING NO
DATE JUN 26 2025	1/7

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REAR ELEVATION

HI-TECH DESIGNS
CANADA LTD.
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EDMONTON, AB, T6B 6T9
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LOT-25, BLOCK-31, PLAN-192 2297
LANDING TRAILS
27 MAPLE CRESCENT, GIBBONS

AREA

BUILDER/CLIENT

ROMA HOMES

DESIGNED

DRAWN

DATE

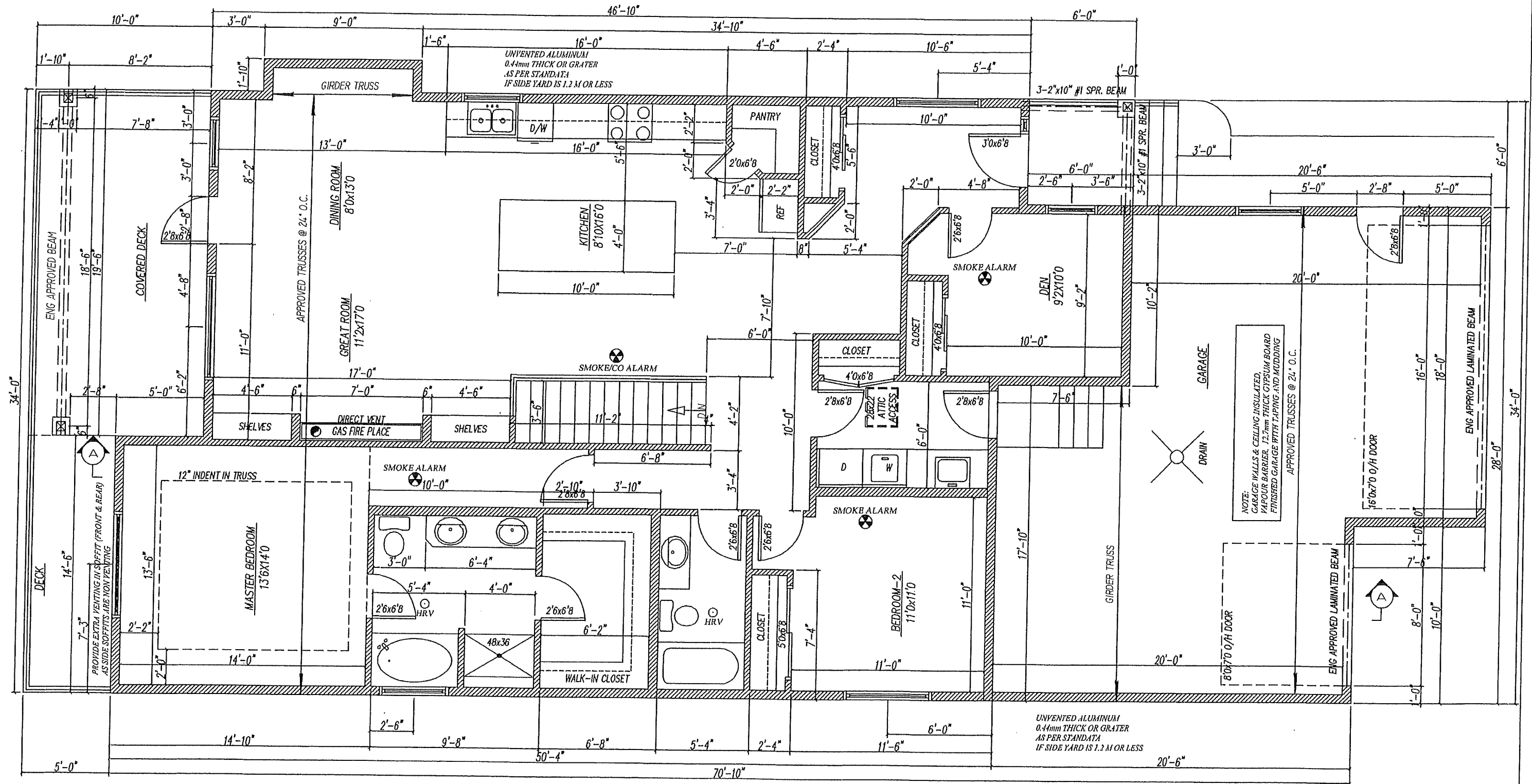
SCALE
3/16"=1'-0"

DRAWING NO

2/7

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MAIN FLOOR PLAN 1716 SQ.FT.
GARAGE 650 SQ.FT.



HI-TECH DESIGNS
CANADA LTD.
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PHONE: (780) 450-4512
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OR OMISSIONS TO THIS OFFICE. ALL DIMENSIONS SHALL BE READ NOT SCALED.

LOT-25, BLOCK-31, PLAN-192 2297
LANDING TRAILS
27 MAPLE CRESCENT, GIBBONS

AREA

BUILDER/CLIENT

ROMA HOMES

DESIGNED

DRAWN

DATE _____

SCALE

DRAWING NO

5/7

\\BOLDFERS\KOMA HOMES\2025\01-23-31-LANDING KILLS.dwg 2025-06-26 1:42:23 PM, POF995

[illegible]

DESIGNED	SCALE 3/16"=1'-0"
DRAWN	DRAWING NO
DATE	6/7

SPECIFICATIONS

THE FOLLOWING LIST OF SPECIFICATIONS MAY NOT APPLY TO THE ATTACHED SET OF PLANS IN ITS ENTIRETY.

- (W1) FOUNDATION WALL W/FOOTING (HOUSE)-SEE DETAIL W1
8" 32.5 MPA (min) CONCRETE WALL
PARING ABOVE GRADE
DAMP-PROOFING BELOW GRADE
ON 20"x8" 32.5 MPA(min) CONT. CONCRETE FOOTING
R/F WITH 2-15M CONT.
- FROST WALL - SEE DETAIL W1 ON APNDX-2
- (W2) FOUNDATION WALL W/FOOTING (GARAGE)
8" 32.5 MPA (min) CONCRETE WALL
PARING ABOVE GRADE
DAMP-PROOFING BELOW GRADE
ON 20"x8" 32.5 MPA(min) CONT. CONCRETE FOOTING
R/F WITH 2-15M CONT.
- (W3) EXTERIOR WALL (HOUSE & GARAGE)-SEE DETAIL W3
SEE DETAIL W3 ON APNDX-2
- (W4) WALL (TO GARAGE) SEE DETAIL W4
SEE DETAIL W4 ON APNDX-2
- (W5) WALL (PARTITION)
1/2" GYPSUM BOARD
2"x4" OR 2"x6" STUDS @ 24" O.C.
1/2" GYPSUM BOARD
- (W6) WALL (BEARING)
1/2" GYPSUM BOARD
2"x6" OR 2"x8" STUDS @ 16" O.C.
1/2" GYPSUM BOARD
- (W7) WALL (BEARING) W/FOOTING
1/2" GYPSUM BOARD
2"x6" STUDS @ 16" O.C.
1/2" GYPSUM BOARD
ON 18"x8" 32.5MPA(min) CONT.CONCRETE FOOTING
R/F WITH 2-15M CONT.
- (W8) TALL WALL-SEE DETAIL W8
- (W9) RIM BOARD ASSEMBLY SEE DETAIL W9
- (W10) WALKOUT FOUNDATION AND
UNHEATED FLOOR ABOVE FROST LINE
- (W11) FOUNDATION WALKOUT EXTERIOR WALL-SEE DETAIL W11
- (9) FLOOR (BASEMENT)
4" 20MPA (min) CONCRETE SLAB
6mil POLY
NOT LESS THAN 100mm OF COARSE CLEAN
GRANULAR MATERIAL(RADON ROCKS) CONTAINING NOT
MORE THAN 10% OF MATERIAL THAT WILL PASS A 4 mm SIEVE
SHALL BE PLACED BENEATH FLOOR-ON-GROUND.
- (11) FLOOR (GARAGE)
4" 27.5 MPA (min) CONCRETE SLAB
R/F WITH 6"x6" agaww
6mil POLY
6 (min) WELL COMPACTED PIT RUN SAND
SLOPED TO FRONT 3"(min)
- (12) FLOOR (UPPER LEVEL)
FINISHING FLOOR MATERIALS
5/16" PLYWOOD UNDERLAY
5/8" T.&G. PLYWOOD OR 3/4" OSB SUBFLOOR
DOUGLAS FIR #1&2 OR 1 JOISTS
AS PER FLOOR PLANS
2"x2" X-BRIDGING @ 7'-0" O.C.(max)
1/2" GYPSUM BOARD
- (13) FLOOR (MAIN LEVEL)
FINISHING FLOOR MATERIALS
5/16" PLYWOOD UNDERLAY
5/8" T.&G. PLYWOOD OR 3/4" OSB SUBFLOOR
DOUGLAS FIR #1&2 OR 1 JOISTS
AS PER FLOOR PLANS
2"x2" X-BRIDGING @ 7'-0" O.C. (max)
- (R1) ROOF (TRUSS)
ROOFING AS PER ELEVATION
BUILDING PAPER
APPROVED TRUSSES @ 24" OR 16" O.C.
AS PER FLOOR PLANS
CELLULOSE FIBER INSULATION R52
6mil POLY
1/2" CEILING BOARD
C/W 1" FASCIA BOARD
G.I. EAVESTROUGH & R.W.L. TO STORM LINE
SOFFIT VENTED
- (15) ROOF (FOR DETACHED GARAGE AND COVERED DECK ONLY)
ROOFING AS PER ELEVATION
BUILDING PAPER
APPROVED TRUSSES @ 24" OR 16" O.C.
AS PER FLOOR PLANS
LOOSE FILL R-40 INSULATION
6mil POLY
1/2" CEILING BOARD
C/W 1" FASCIA BOARD
G.I. EAVESTROUGH & R.W.L. TO STORM LINE
SOFFIT VENTED
- (16) ROOF (RAFTER)
ROOFING AS PER ELEVATION
BUILDING PAPER
DOUGLAS FIR #1&2 RAFTERS OR 1 JOISTS
AS PER FLOOR PLANS
2"x4" STRAPPING @ 24" O.C.
PERPENDICULAR TO AND ON TOP OF RAFTERS
FRICTION FIT R-52 CELLULOSE FIBER INSULATION
6mil POLY
1/2" GYPSUM BOARD
- (17) GRADE BEAM
R/F WITH 2-15M CONT. TOP & BOTTOM
10M TIES @ 24" O.C.
C/W 4" VOID FORM
- (21) FOOTING
SIZING VARIES AS PER ENGINEERED COLUMN SPECIFICATION
- (22) STAIRS
7 7/8" (max) RISE 10" (min) RUN
11" (min) THREAD 1" NOSING
6'-6" (min) HEAD ROOM
3'-0" RAIL AT LANDING & STAIR
4" (MAX) VERTICAL SPACING
1/2" GYPSUM BOARD FOR
INSULATED STAIRWELLS ONLY
- (23) PILE
12" 14'-0" DEEP 32.5 MPA (min) CONCRETE PILE
R/F WITH 3-15M VERTICAL
- (25) PILE
16" 16'-0" DEEP 25MPA (min) CONCRETE PILE
R/F WITH 4-15M VERTICAL
10M TIES @ 16" O.C.
- (26) RAILING
3'-6" (min) HAND RAIL
4" (max) VERTICAL SPACING
- (27) WASHER / DRYER
PROVIDE HOT & COLD WATER TAPS
AND STAND PIPE FOR WASHER
VENT DRYER TO EXTERIOR
- (28) WEEPING TILE
4" 20 WEEPING TILE TO STORM LINE OR SUMP PUMP
COVERED WITH 6" (min) OF CLEAN GRAVEL
- (29) FLUE
8" 20 METAL FLUE
2" (min) CLEARANCE TO ALL WOOD
- (30) DOOR
2'-8" x 6'-8" (min) DOOR
C/W SELF-CLOSER AND WEATHER STRIPPING
- (32) INSULATION
2" RIGID INSULATION
- (33) POST
3" 20 ADJUSTABLE STEEL POST
- (34) POST
ENGINEERED COLUMN SIZED TO SUIT LOAD
- (35) DOWEL
2"x6" SOLID BLOCKING @ 48" O.C. AND @ TIER POINTS
15M DOWELS @ 24" O.C. ALL AROUND
- (36) DOWEL
2-20M DOWELS TOP & BOTTOM
- (37) FOOTING
18" x 18" x 10' 25 MPA (min) CONCRETE FOOTING
R/F WITH 2-15M EACH WAY
- (41) PILE
8" 8'-0" DEEP 25MPA (min) CONCRETE PILE
R/F WITH 1-10M VERTICAL
- (42) DOWEL
2-15M 24" x 24" CORNER BARS TOB @ BOTTOM
- (48) GRADE BEAM
8"x20 1/2" 25MPA (min) CONT. CONCRETE GRADE BEAM
R/F WITH 2-15M CONT. TOP & BOTTOM
10M TIES @ 24" O.C.
C/W 4" VOID FORM
- (49) PILE
12" 12'-0" DEEP 25MPA (min) CONCRETE PILE
R/F WITH 3-10M VERTICAL
- (50) METAL SCREW PILE
SEE MANUFACTURER DETAIL

GENERAL NOTES:

ALL WORK AND MATERIALS TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE

ALL SIZES & DIMENSIONS TO BE CONFIRMED BY THE GENERAL CONTRACTOR ANY DISCREPANCIES TO BE REPORTED TO THIS OFFICE
OFFICE CLARIFICATION AGREED UPON BEFORE PROCEEDING

FOUNDATION WALLS OF POURED CONCRETE TO BE 8" THICK AND EXTEND A MINIMUM OF 6" ABOVE FINISHED GRADE
REINFORCED WITH 2 ROWS OF 2-10M.
WALLS SHALL BE DAMPROOFED WITH HEAVY COAT OF BITUMINOUS OR OTHER DAMPPROOFING MATERIAL.

BASEMENT WINDOWS SHALL BE REINFORCED AS PER ENGINEERED DETAIL

CONCRETE STRENGTH SHALL NOT BE LESS THAN 20 MPa (2900 psi.) AFTER 28 DAYS WITH AIR ENTRAINMENT OF 5 TO 8 PERCENT.

ATTIC ACCESS TO BE AT LEAST 20"x28" C/W WEATHER STRIPPING AND INSULATION
TH BUILDING SITE SHALL BE GRADED SO THAT SURFACE WATER SHALL NOT ACCUMULATE AT OR NEAR THE BUILDING

END BEARING OF JOISTS AND RAFTERS SHALL NOT BE LESS THAN 1 1/2"
FLOOR & CEILING JOIST BRIDGING AS PER ENGINEERED DETAIL

CONTINUOUS WOOD STRAPPING
AND IS TO CONSISTS OF CROSS BRIDGING,SOLID BLOCKING OR DOUBLE FRAMING UNDER ALL PARALLEL PARTITIONS AND AROUND ALL OPENINGS

BUILT-UP BEAMS SHALL ONLY HAVE SPLICES IN ALTERNATE POINT PAST A POST, EXCEPT AT BEAM ENDS.

FIRE STOPS ARE TO BE PROVIDED AT ALL CONCEALED SPACES @ FLOOR,CEILING & ROOF LEVELS INCLUDING THE SPACE BETWEEN THE CHIMNEY FLUE AND SHAFT WHERE IT PASSES THROUGH FLOOR OR CEILING.

PROVIDE BUILT-UP POSTS OF A WIDTH EQUAL TO THE WIDTH OF BEAM, WHERE FRAMED INTO INTERIOR OR EXTERIOR WALLS.

ROOF OR ATTIC SPACES IS TO BE PROVIDED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN OF THE INSULATED CEILING AREA,DISTRIBUTED TO PROVIDE GOOD CROSS VENTILATION.

EXHAUST FROM KITCHEN ARE WASHROOM FANS IS TO BE DUCTED DIRECTLY TO THE OUTSIDE & DUCT IS TO BE INSULATED THROUGH UNHEATED SPACE
COMBUSTION AIR IS REQUIRED FOR ALL FUEL FIRED HEATING APPLIANCES INCLUDING FIRE PLACES INTRODUCED BY INTAKES OTHER THAN A DOOR OR WINDOW

ALL COMMON HOUSE/ GARAGE WALLS, CEILING AND FLOORS SHALL BE ONE HOUR FIRERATED.

FOR ATTACHED GARAGES, ANY COMMON WALL IS TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GAS AND EXHAUST FUMES. ANY DOOR IS TO BE TIGHT FITTING, WEATHER STRIPPED ,AND FITTED WITH SELF CLOSING DMVCE.

AVOID PACKING CANTILEVERS FULL OF INSULATION LEAVE AN AIR SPACE BETWEEN SUBFLOOR AND INSULATION FOR WARM AIR CIRCULATION

INSULATION AND THE BOTTOM OF THE ROOF SHEATHING FOR ADEQUATE ROOF VENTILATION

AT THE INTERSECTION OF ROOFS PROVIDE SHEET METAL FLASHING OF ATLEAST 0.013" THICK GALVANIZED STEEL OR OTHER ACCEPTABLE MATERIAL

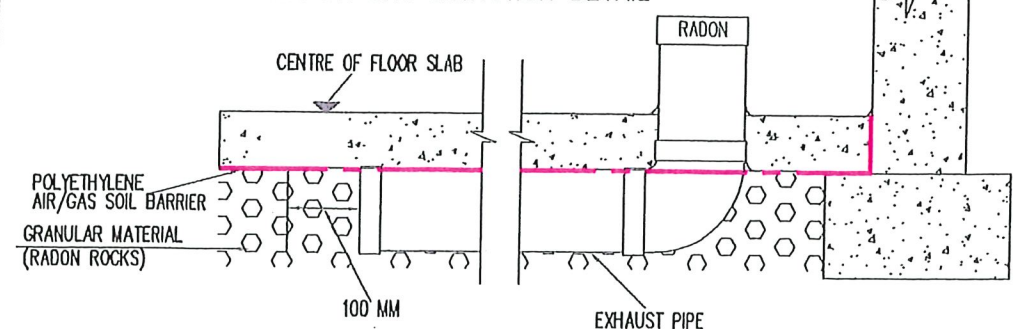
USE 1/2" CD DRYWALL OR 5/8" DRYWALL WHERE TRUSSES ARE GREATER THAN 16" O.C.
A SMOKE ALARM INSTALLED BY PERMANENT CONNECTIONS TO A ELECTRICAL CIRCUIT IS TO BE PROVIDED BETWEEN ALL SLEEPING AREAS AND THE REMAINDER OF THE HOUSE

NON HARDENING CAULKING COMPOUND TO BE USED OVER AND AROUND ALL EXTERIOR OPENINGS
PLUMBING ACCESS OF 16"x20" TO BE PROVIDED FOR TUBS AND SHOWERS
PROVIDE FRESH AIR INTAKES FOR FUR NACES AND FIREPLACES

ALL WORKMANSHIP TO BE A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE
SIDING/ STUCCO TO BE 6" ABOVE FINISH GRADE
ALL LINTLES TO BE 3-2"x12"
FINISH WOOD RAILINGS, PICKETS MAXIMUM 4" O.C.
PRECAST CONCRETE STEPS.

CAPED DRYER VENT
INSULATED ATTIC ACCESS HATCH-20"x28"
LINEN CLOSET -4 SHELVES MIN, 1'-2" DEEP
WASHROOMS TO BE MECHANICALLY VENTED TO STAIR SUPPORT TO BE 4"x4" KILN DRIED SPRUCE POST ON 24"x 24"x 8" CONCRETE FOOTING
PROVIDE @AT LEAST ONE AIR EXCHANGE PER HOUR

DETAIL-B RADON GAS EXTRCTION DETAIL



HI-TECH DESIGNS

6734 75 ST NW # 2
EDMONTON, AB, T6E 6T9
PHONE: (780) 450-4512
FAX: 1-888-872-6593

CANADA LTD.

REVISED

2021-06-12

APNDX-1

PRESCRIPTIVE REQUIREMENTS (SIDING) THERMAL RESISTANCES FOR ZONE 7A WITH HRV

(W1) FOUNDATION WALL W/FOOTING (HOUSE)
RSI 2.98 REQUIRED W/HRV
TABLE A-9.36.2.6.(1)C, A-9.36.2.4.(1)D

	RSI VALUE
8" CONCRETE WALL	0.08
2"x6"STUDS @ 24"O.C.	2.81
&R-20 BATT INSULATION	---
6mil POLYETHYLENE SHEET	---
INTERIOR AIR FILM	0.12
EFFECTIVE VALUE	3.01

(W3) EXTERIOR WALL (HOUSE & GARAGE)
RSI 2.97 REQUIRED W/HRV
TABLE A-9.36.2.6.(1)B, A-9.36.2.4.(1)D

	RSI VALUE
OUTSIDE AIR FILM	0.03
SIDING	0.11
SHEATHING PAPER	---
3/8" (9.5mm) OSB SHEATHING	0.09
2"x6"STUDS @ 24"O.C.	2.67
&R-22 BATT INSULATION	---
6mil POLYETHYLENE SHEET	---
GYPSON BOARD	0.08
INTERIOR AIR FILM	0.12
EFFECTIVE VALUE	3.10

(W4) WALL (TO GARAGE)
RSI 2.97 REQUIRED W/HRV
TABLE A-9.36.2.6.(1)B

	RSI VALUE
INTERIOR AIR FILM	0.12
GYPSON BOARD	0.08
6mil POLYETHYLENE SHEET	---
2"x6"STUDS @ 19.2"O.C. (21.5%)	2.73
&R-24 BATT INSULATION (78.5%)	---
AIR BARRIER	---
5/8" FIRE RATED GYPSON BOARD	0.10
EFFECTIVE VALUE	3.03

(W8) TALL WALL
RSI 2.97 REQUIRED W/HRV
TABLE A-9.36.2.6.(1)B, A-9.36.2.4.(1)D

	RSI VALUE
OUTSIDE AIR FILM	0.03
SIDING	0.11
SHEATHING PAPER	---
3/8" (9.5mm) OSB SHEATHING	0.09
2"x6" @ 8"O.C.&R24	2.54
2"x6" @ 12"O.C.&R24	2.60
2"x6" @ 16"O.C.&R22 (SEE ENGINEER REPORT)	2.55
6mil POLYETHYLENE SHEET	---
1/2" GYPSON BOARD	0.08
INTERIOR AIR FILM	0.12
EFFECTIVE VALUE	2.97 3.03 2.98

(W9) RIM BOARD ASSEMBLY, BATT INSULATION,
RSI 2.97 REQUIRED W/HRV
TABLE 9.36.2.6.B

	RSI VALUE
OUTSIDE AIR FILM	0.03
SIDING	0.11
SHEATHING PAPER	---
3/8" (9.5mm) OSB SHEATHING	0.09
1 1/8" PRE-INSULATED RIM BOARD	0.26
11 7/8" ENG. FLOOR JOISTS @ 19.2" O.C.(11.5%) + R20 BATT INSULATION(88.5%)	3.35
6mil POLYETHYLENE SHEET	---
EFFECTIVE VALUE	3.84

(R1) CEILING BELOW ATTIC
RSI 8.67 REQUIRED W/HRV
TABLE A-9.36.2.4.(1)A, A-9.36.2.4.(1)D

	RSI VALUE	
OUTSIDE AIR FILM	0.03	
R39 CELLULOSE FIBER INSULATION CONTINUOUS RSI	6.84	OVERALL R VALUE OF INSULATION R52
2X4 BOTTOM CHORD @ 24"O.C.(7%) 3.5" CELLULOSE (RSI 2.22, R13)(93%)	1.95	
6mil POLYETHYLENE SHEET	---	
1/2" CEILING BOARD	0.077	
INTERIOR AIR FILM (HEAT FLOW UP)	0.11	
EFFECTIVE VALUE	9.04	

(F1) FLOOR OVER UNHEATED SPACE
RSI 5.02 REQUIRED W/HRV
TABLE A-9.36.2.4.(1)A, A-9.36.2.4.(1)D

	RSI VALUE
INTERIOR AIR FILM (HEAT FLOW DOWN)	0.16
FLOOR FINISH	---
SUBFLOOR	0.17
11 7/8" ENG. FLOOR JOISTS	---
6mil POLYETHYLENE SHEET	---
GYPSON BOARD	0.08
AIR GAP	0.16
2X10 FRAME @24" O.C.(10%) & R-30 BATT INSULATION(90%)	4.54
GYPSON BOARD	0.08
OUTSIDE AIR FILM	0.03
EFFECTIVE VALUE	5.22

(W1) FOUNDATION WALKOUT EXTERIOR WALL
RSI 2.97 REQUIRED W/HRV
TABLE A-9.36.2.6.(1)B, A-9.36.2.4.(1)D

	RSI VALUE
OUTSIDE AIR FILM	0.03
SIDING	0.11
SHEATHING PAPER	---
3/8" (9.5mm) OSB SHEATHING	0.09
2"x6"STUDS @ 16"O.C. &R-22 BATT INSULATION	2.55
6mil POLYETHYLENE SHEET	---
GYPSON BOARD	0.08
INTERIOR AIR FILM	0.12
EFFECTIVE VALUE	2.98

UPPER FLOOR--PERPENDICULAR TO JOISTS

	RSI VALUE
OUTSIDE AIR FILM	0.03
SIDING	0.11
SHEATHING PAPER	---
3/8" (9.5mm) OSB SHEATHING	0.09
3 1/2" INSULATED POXY WALL R-20 BATT INSULATION	3.52
6mil POLYETHYLENE SHEET	---
EFFECTIVE VALUE	3.75

UPPER FLOOR--PARALLEL TO JOISTS

	RSI VALUE
OUTSIDE AIR FILM	0.03
SIDING	0.11
SHEATHING PAPER	---
3/8" (9.5mm) OSB SHEATHING	0.09
2"x6"STUDS @ 24"O.C. &R-22 BATT INSULATION	2.67
6mil POLYETHYLENE SHEET	---
GYPSON BOARD	0.08
INTERIOR AIR FILM	0.12
EFFECTIVE VALUE	3.10

NOTES:

ALL WINDOWS MAX USI 1.60, ALTERNATIVE: MIN ER=25
ALL EXTERIOR DOORS MAX USI 1.60
SINGLE EXTERIOR DOOR EXCEPTION MAX USI 2.60

MATERIALS INTENDED TO PROVIDE THE PRINCIPAL
RESISTANCE TO AIR LEAKAGE CONFORM TO
CAN/ULC-S741.

COMPONENT/EQUIPMENT	HEATING/COOLING CAPACITY	STANDARD	MIN PERFORMANCE
GAS-FIRED FORCED AIR FURNACE	<65.9kW[222,000Btu/h]	CAN/CSA-P.2	>=AFUE 92%

COMPONENT	INPUT	STANDARD	PERFORMANCE REQ'T
GAS-FIRED HOT WATER TANK	<22kW[75,000Btu/h]	CAN/CSA-P.3	EF>=0.67-0.0005V

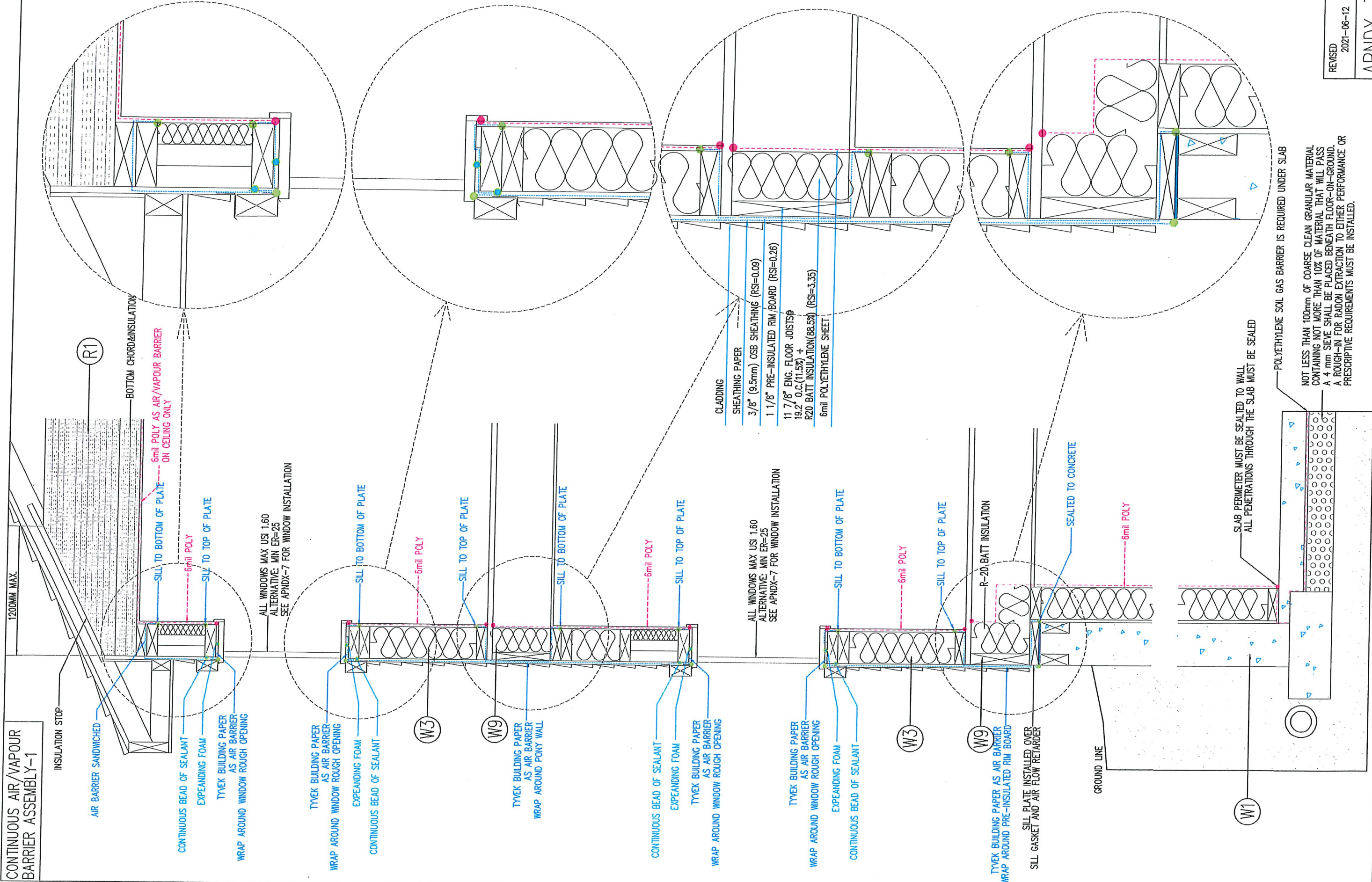
NOTE: FOR ZERO-LOT-LINE LOT REPLACE WITH
3/8" (9.5mm) OSB SHEATHING RSI(0.093) OR
1/2" GLASS-MAT SHEATHING RSI (0.09)

HI-TECH DESIGNS
6734 75 ST NW # 2
EDMONTON, AB, T6E 6T9
PHONE: (780) 450-4512
FAX: 1-888-872-6593

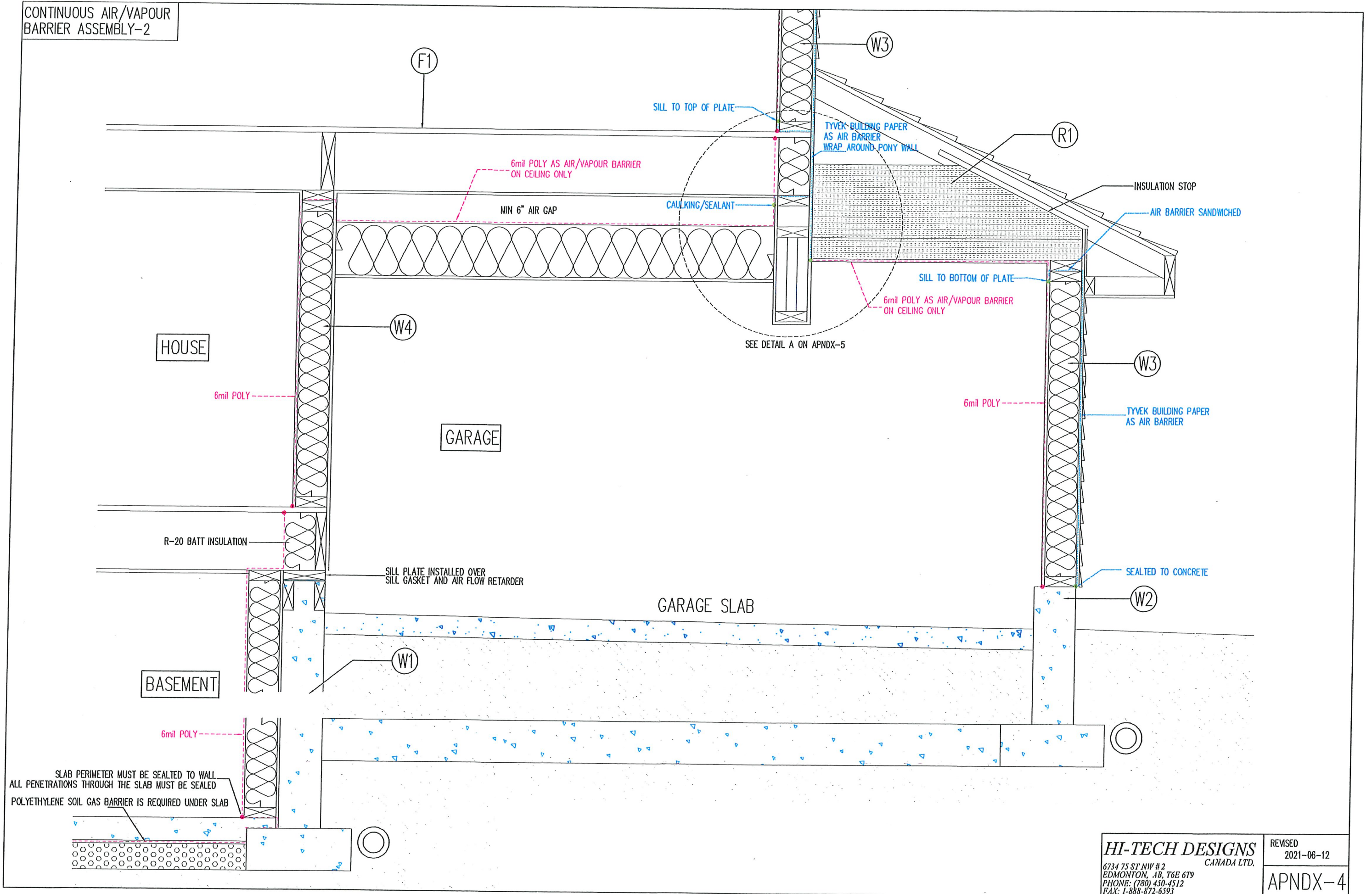
REVISED
2021-06-12

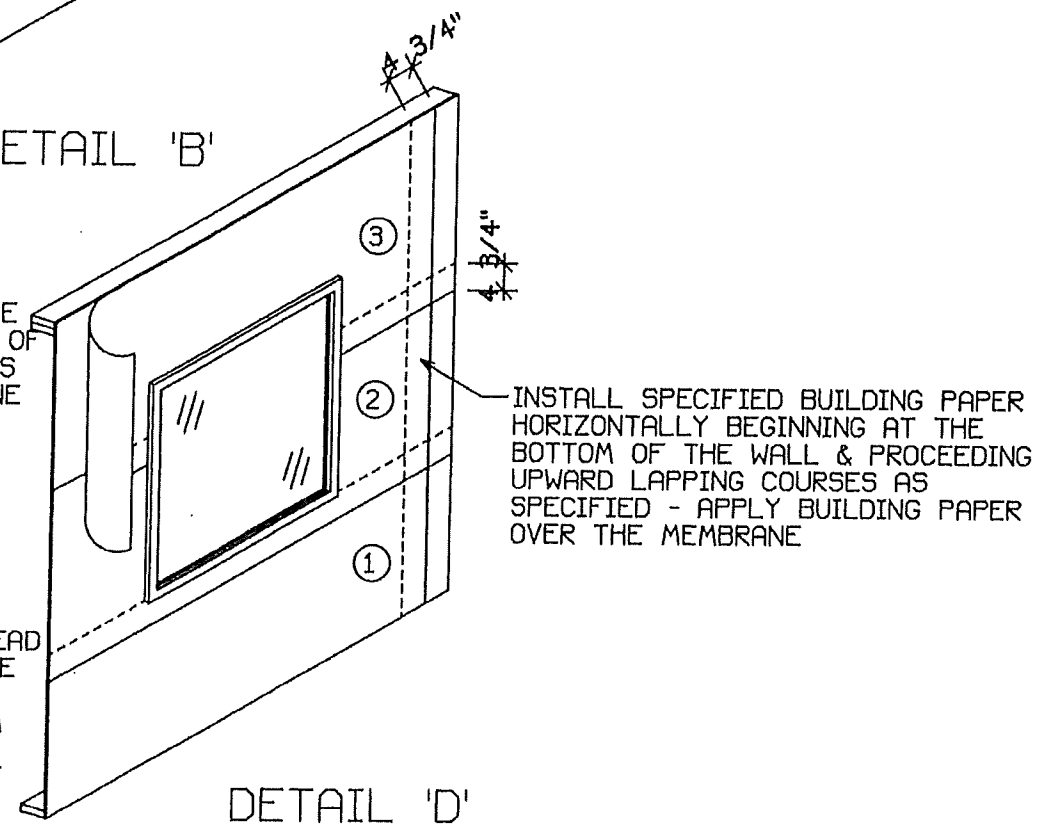
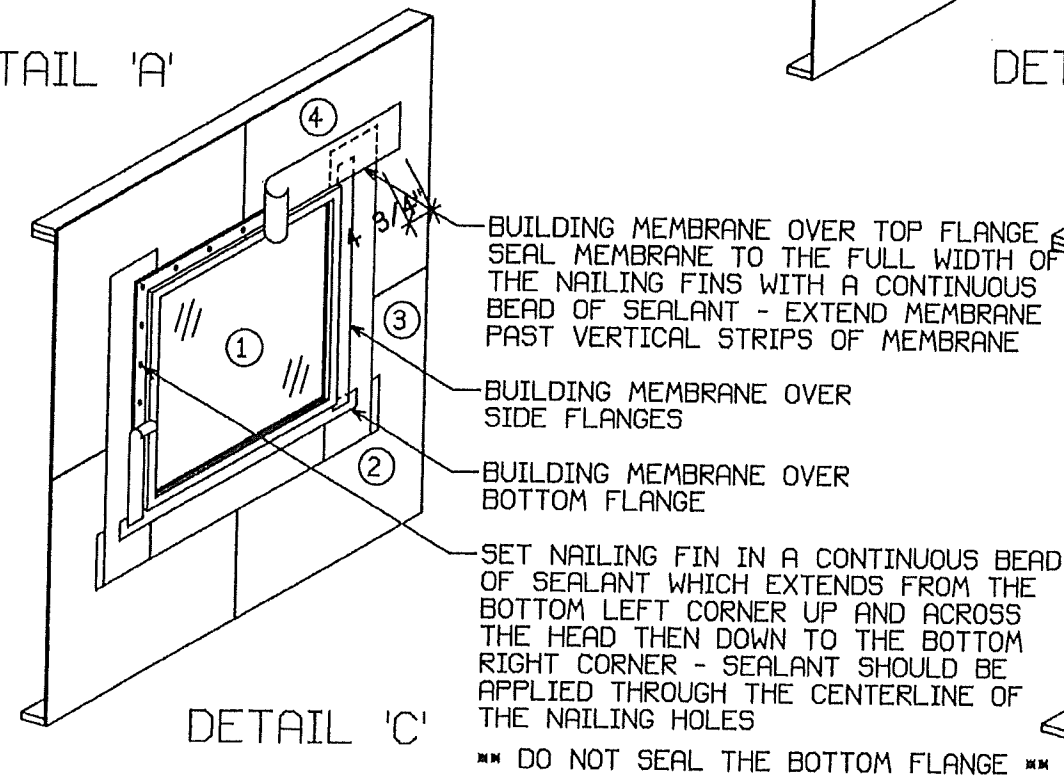
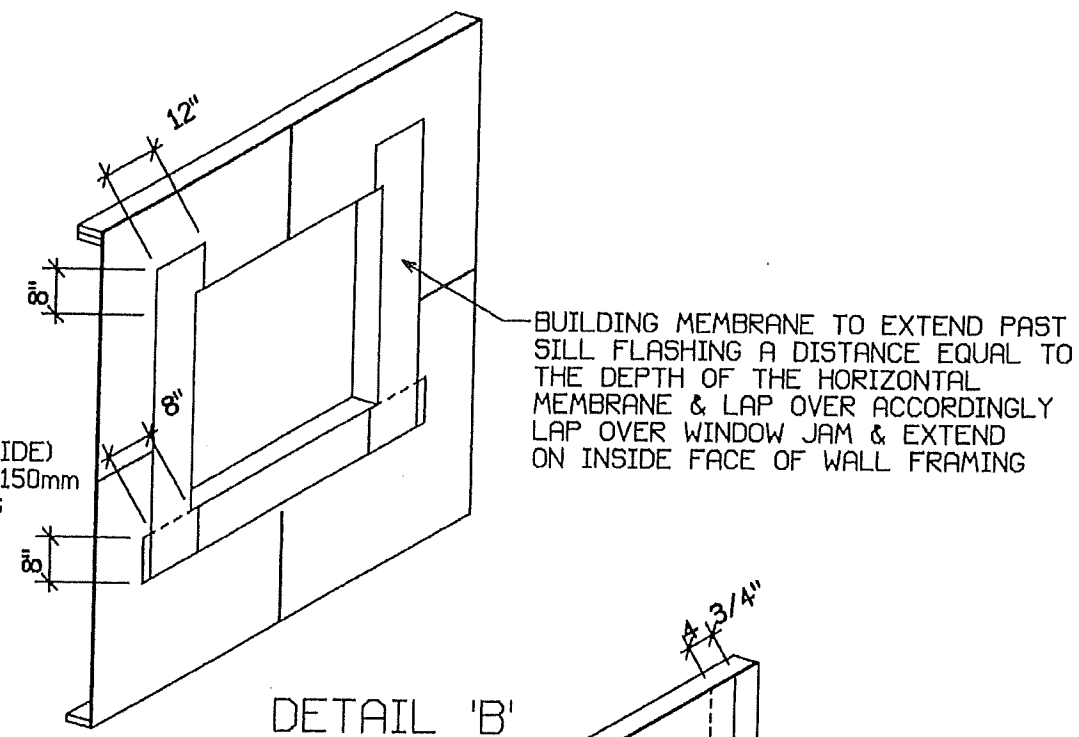
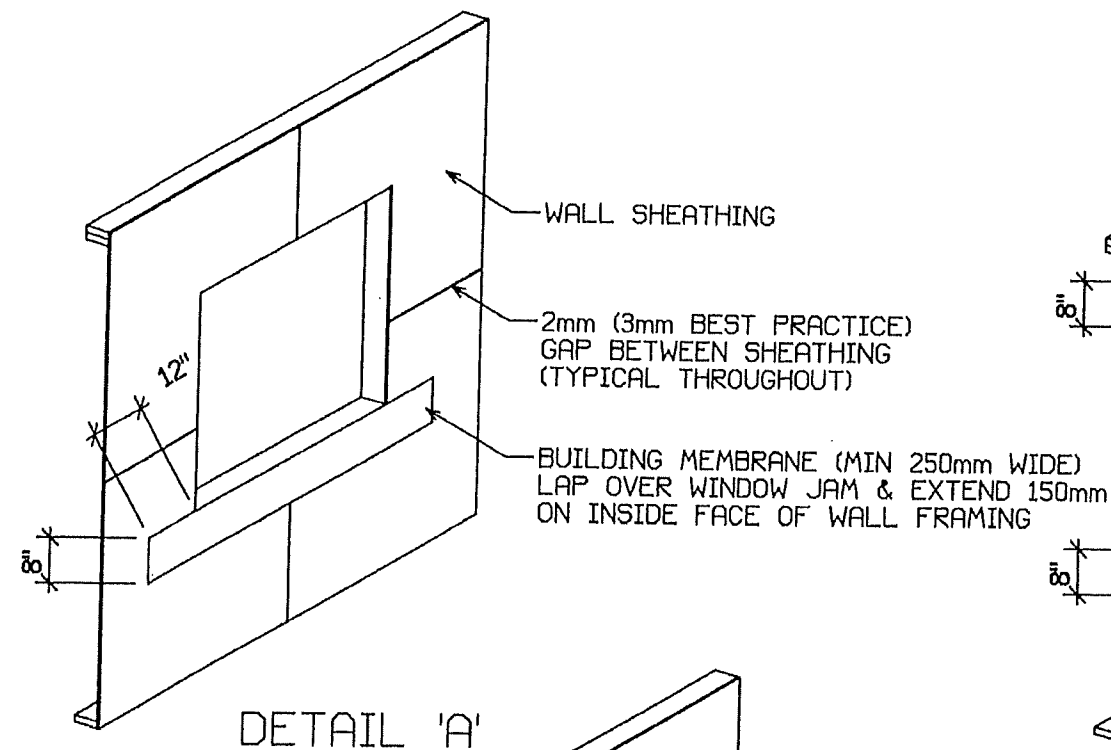
APNDX-2

CONTINUOUS AIR/VAPOUR BARRIER ASSEMBLY-1



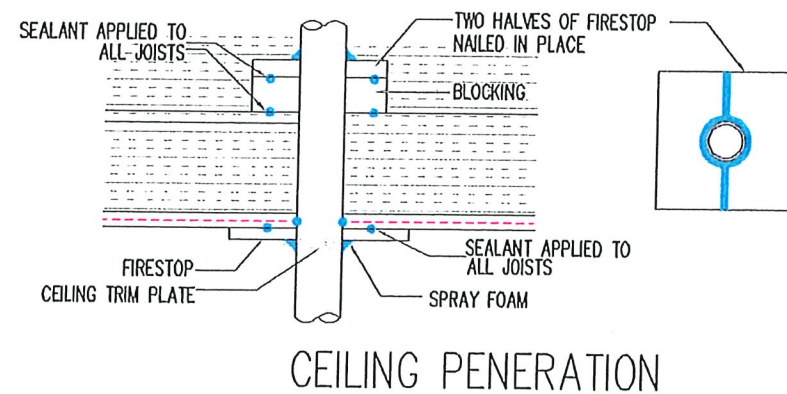
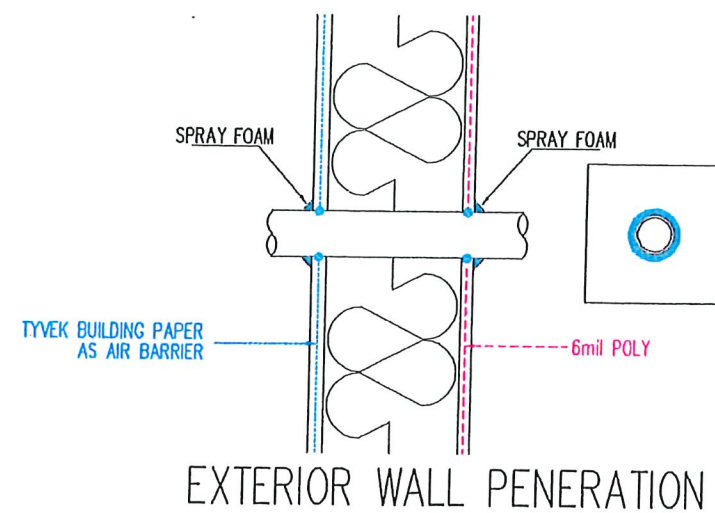
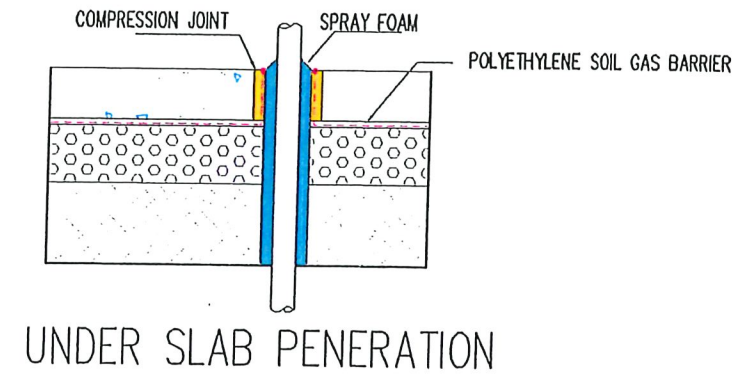
CONTINUOUS AIR/VAPOUR
BARRIER ASSEMBLY-2





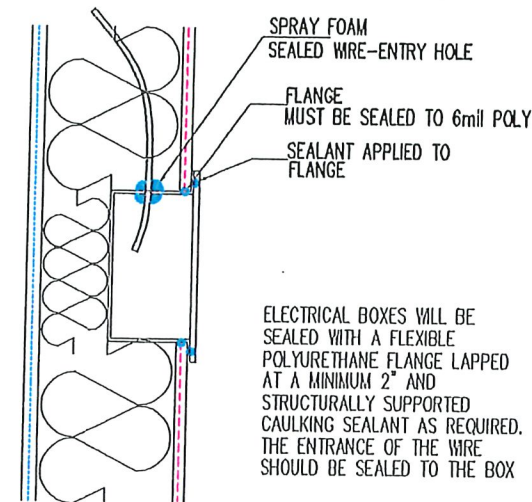
WINDOW INSTALLATION, WALL SHEATHING & WALL SHEATHING MEMBRANE DETAILS NOT TO SCALE

PENETRATION DETAIL



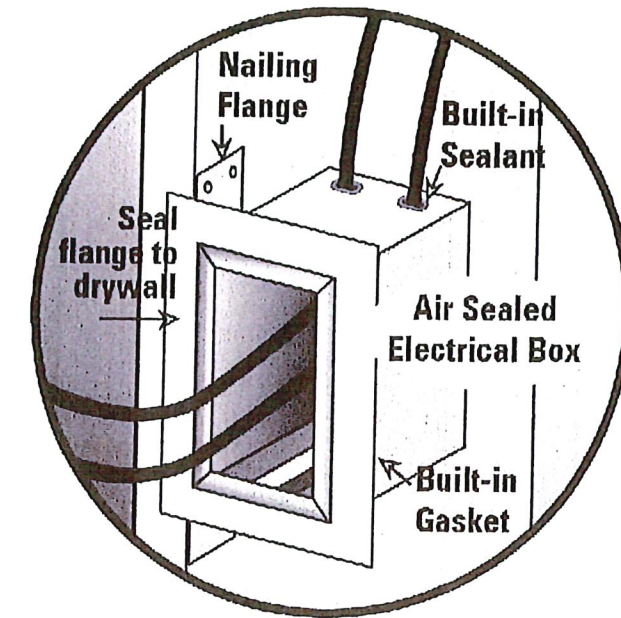
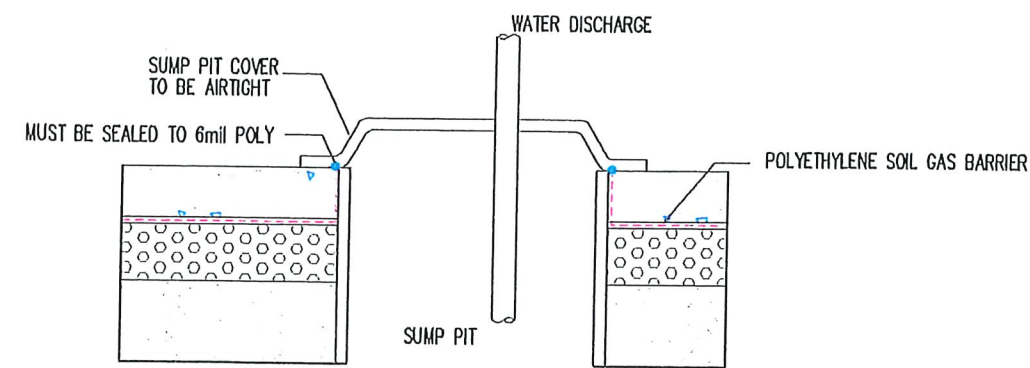
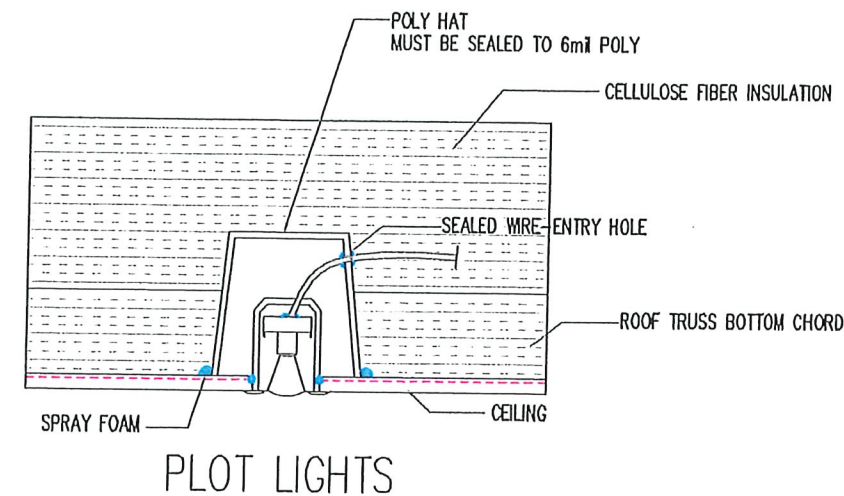
NOTE:

HEAT DUCT AND COLD AIR RETURNS ARE TO BE PROTECTED WITH A THERMAL BARRIER MINIMUM 1/2 INCH GYPSUM BOARD. METAL IS NOT A RESIDENTIAL THERMAL BARRIER.



ELECTRICAL BOXES WILL BE SEALED WITH A FLEXIBLE POLYURETHANE FLANGE LAPPED AT A MINIMUM 2" AND STRUCTURALLY SUPPORTED CAULKING SEALANT AS REQUIRED. THE ENTRANCE OF THE WIRE SHOULD BE SEALED TO THE BOX

ELECTRICAL BOXES



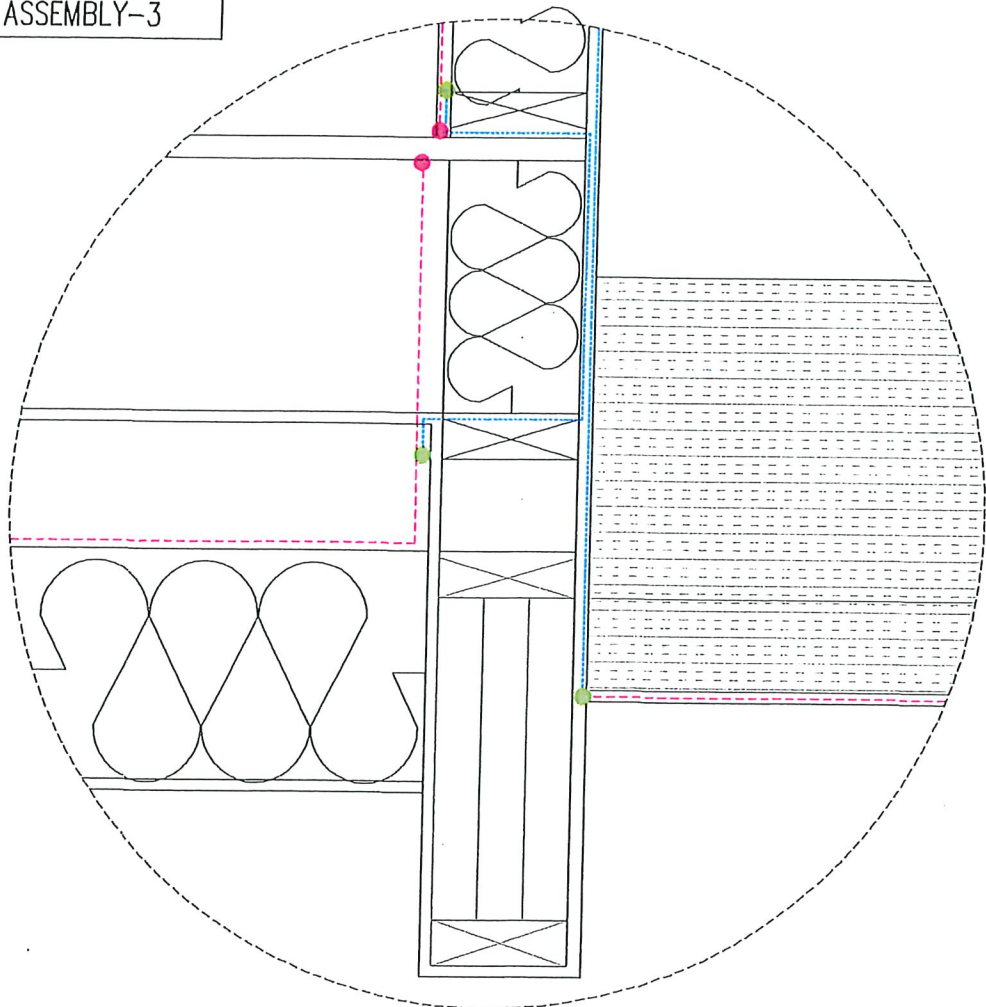
HI-TECH DESIGNS
6734 75 ST NW # 2
EDMONTON, AB, T6E 6T9
PHONE: (780) 450-4512
FAX: 1-888-872-6593

CANADA LTD.

REVISED
2021-06-12

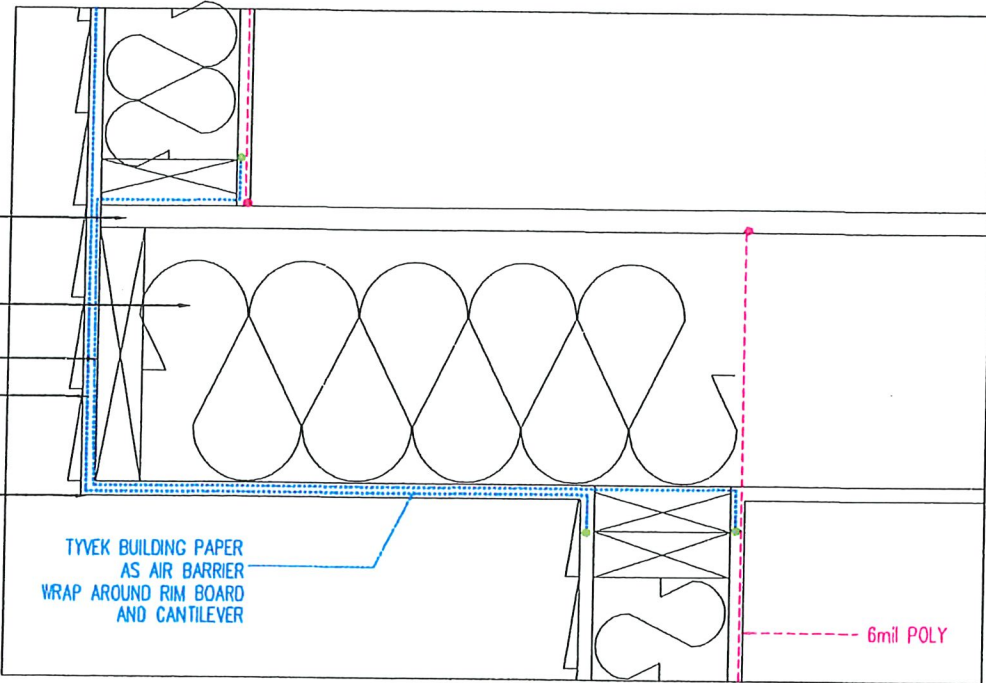
APNDX-6

CONTINUOUS AIR/VAPOUR
BARRIER ASSEMBLY-3



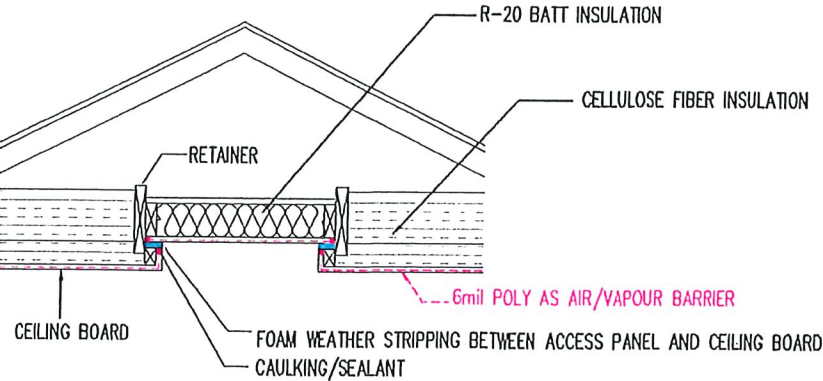
DETAIL A

SUBFLOOR (RSI=0.17)
11 7/8" ENG. FLOOR JOISTS@
19.2" O.C.(11.5%) +
R30 BATT INSULATION(88.5%) (RSI=4.65)
5/8" PLYWOOD OR OSB SHEATHING (RSI=0.135)
SHEATHING PAPER
NON VENTED METAL SOFFIT



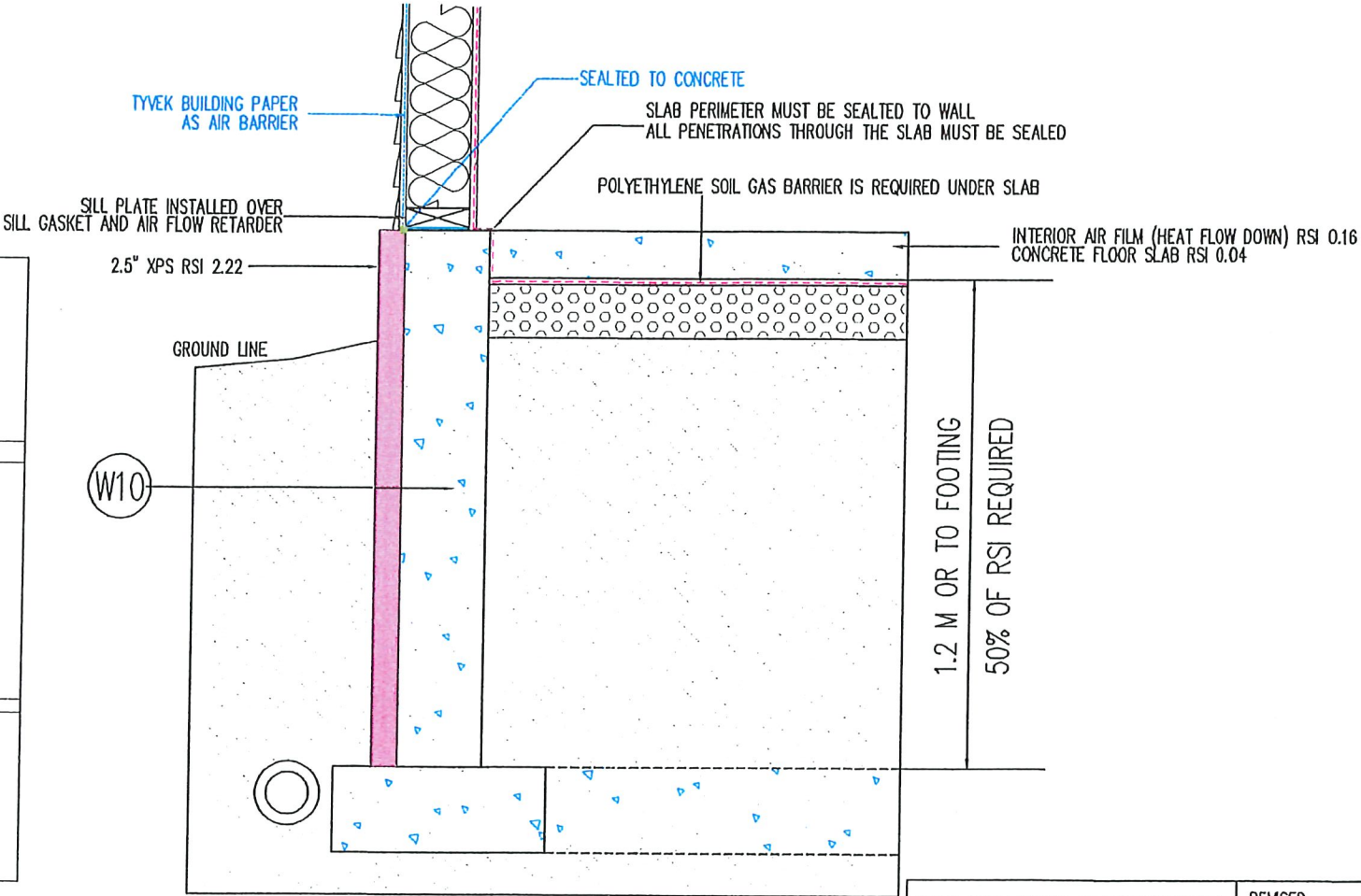
CANTILEVER (MAIN & UPPER FLOOR)

ATTIC ACCESS DETAIL
CELLULOSE FIBER INSULATION
MIN RSI=2.6 REQUIRED W/HRV



	RSI VALUE
GYPSUM BOARD	0.08
2X6 FRAME(7%)	3.10
R-20 BATT INSULATION(93%)	---
6mil POLYETHYLENE SHEET	---
1/2" CEILING BOARD	0.08
INTERIOR AIR FILM (HEAT FLOW UP)	0.11
EFFECTIVE VALUE	3.37

UNHEATED FLOOR - ABOVE FROST LINE
RSI 1.96 REQUIRED W/HRV



WALKOUT

HI-TECH DESIGNS
6734 75 ST NW # 2
EDMONTON, AB, T6E 6T9
PHONE: (780) 450-4512
FAX: 1-888-872-6593

CANADA LTD.

REVISED
2021-06-12

APNDX-5

MUNICIPAL PLANNING COMMISSION (MPC)
REQUEST FOR DECISION

Proposed Development: Install Roof Top Solar System

Subject Site: Lot 29, Block 25, Plan 782 1890 – 4823 44 Avenue, Gibbons, AB
Zoning: R-1 Single Family Residential
Permit Number: 25-D0039

Application Information

An application for the installation of a residential flush mount roof mounted solar panel system was received by the planning department and deemed complete on July 30, 2025. The proposed development is a discretionary use in the R-1 Single Family District and as such has come to the MPC for a decision.

Section 2.21 of the Land Use Bylaw 8-06 requires that the roof mounted solar panels be located in a manner such that light reflection does not negatively impact adjacent properties.

Recommendation

That the Municipal Planning Commission approve the application for the installation of a residential flush mount roof mounted solar panel system to be located at Lot 29, Block 25, Plan 782 1890 – 4823 44 Avenue, Gibbons, AB with the following conditions:

1. Development shall proceed in accordance with the attached plans.
2. The roof mounted solar panels shall be located in a manner such that light reflection does not negatively impact adjacent properties.
3. If the development authorized on this development permit is not commenced within twelve (12) months of the Date of Issuance, or the applicant has not obtained an approved Building Permit within twelve (12) months from the Date of Issuance, the Development Permit shall be deemed void.
4. The Applicant/Registered Owner shall ensure there is no damage to municipal property resulting from this permit. Costs for repairs of municipal property will be assessed by the Town of Gibbons and will be charged back to the applicant.

NOTES:

1. If the development is found to be incorrectly placed, the applicant may be required to move or remove the development at the sole expense of the Applicant/Registered Owner. Any proposed change considered to be substantial or inconsistent with this approval, as determined by the Development Officer, may be subject to a separate development permit application/approval.
2. An appeal can be made by filing a written notice of appeal along with payment to the **Subdivision and Development Appeal Board (4807 50 Avenue, Box 68, Gibbons, AB, T0A 1N0)** within 21 days from the date of the receipt of this decision. In the case of an appeal made by a person referred to in section 685(2) of the *Municipal Government Act*, within 21 days after the date on which the notice of the issuance of the permit was given.

3. **This is a Development Permit ONLY.** Issuance of this Permit does not excuse the applicant from satisfying all other applicable municipal, provincial and/or federal requirements.
4. A person applying for, or in possession of a valid Development Permit is not relieved from full responsibility for ascertaining and complying with or carrying out development in accordance with the conditions of any covenant, caveat, easements, or other instrument effecting the building or the land.

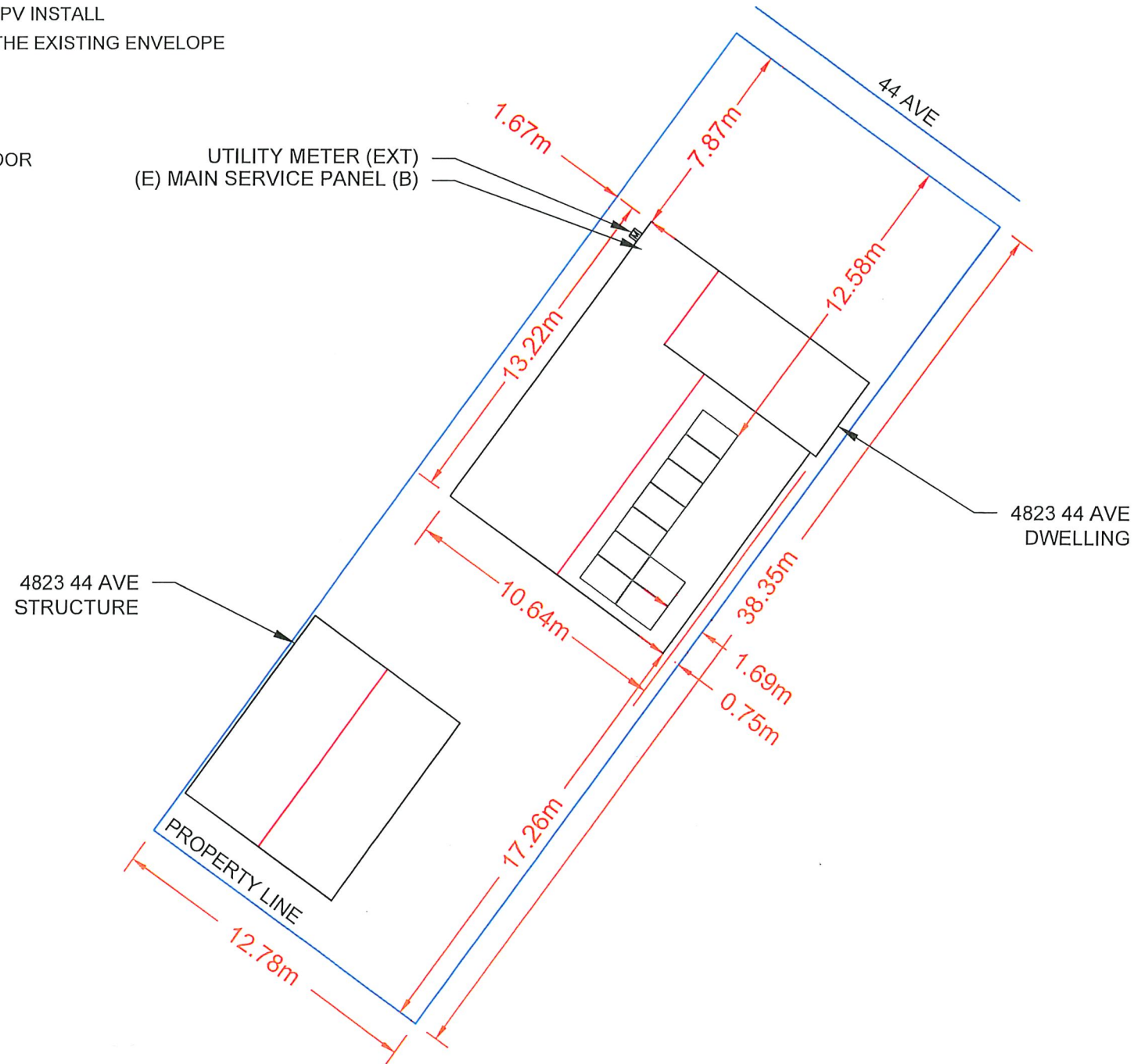
Submitted By:

Terra Pattison,
Acting Development Officer



NOTES:

- ALL ELECTRICAL BUILDING PENETRATIONS FOR SOLAR PV INSTALL TO BE PROPERLY SEALED TO MAINTAIN INTEGRITY OF THE EXISTING ENVELOPE
- (E) DENOTES EXISTING EQUIPMENT
- (N) DENOTES NEW EQUIPMENT
- (EXT) DENOTES EQUIPMENT LOCATED OUTSIDE
- (1F) DENOTES EQUIPMENT LOCATED INSIDE ON 1ST FLOOR
- (B) DENOTES EQUIPMENT LOCATED IN THE BASEMENT



4823 44 AVE
STRUCTURE

4823 44 AVE
DWELLING

SCALE: 1:225

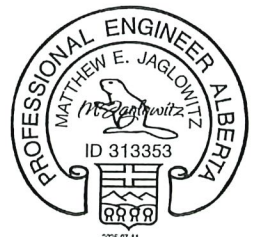
AHJ: TOWN OF GIBBONS, AB
GOVERNING CODE:
NATIONAL FIRE CODE – 2023 ALBERTA EDITION
NATIONAL BUILDING CODE - ALBERTA 2023
2024 CANADIAN ELECTRICAL CODE

NOTES:

- SCALE AS SHOWN
- ALL DIMENSIONS IN METERS UNLESS OTHERWISE STATED

NEAREST URGENT CARE FACILITY
NAME:
ADDRESS:
PHONE NUMBER:

PERMIT TO PRACTICE
EXACTUS ENERGY INC.
RM SIGNATURE: *Matthew E. Jaglowitz*
RM APEGA ID #: 313353
DATE: 07/11/25
PERMIT NUMBER: P016590
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)



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+1-888-912-9462
FIREFLYSOLAR.CA

PROJECT: 4823 44 AVE
MUNICIPALITY: GIBBONS, AB
POSTAL CODE: T0A 1N1
CLIENT: KENNETH A DAVIS
4.05 KW DC-STC / 3.240 KW AC

AUTHOR: ----
DATE: 10/JUL/25
REV: -

SITE PLAN

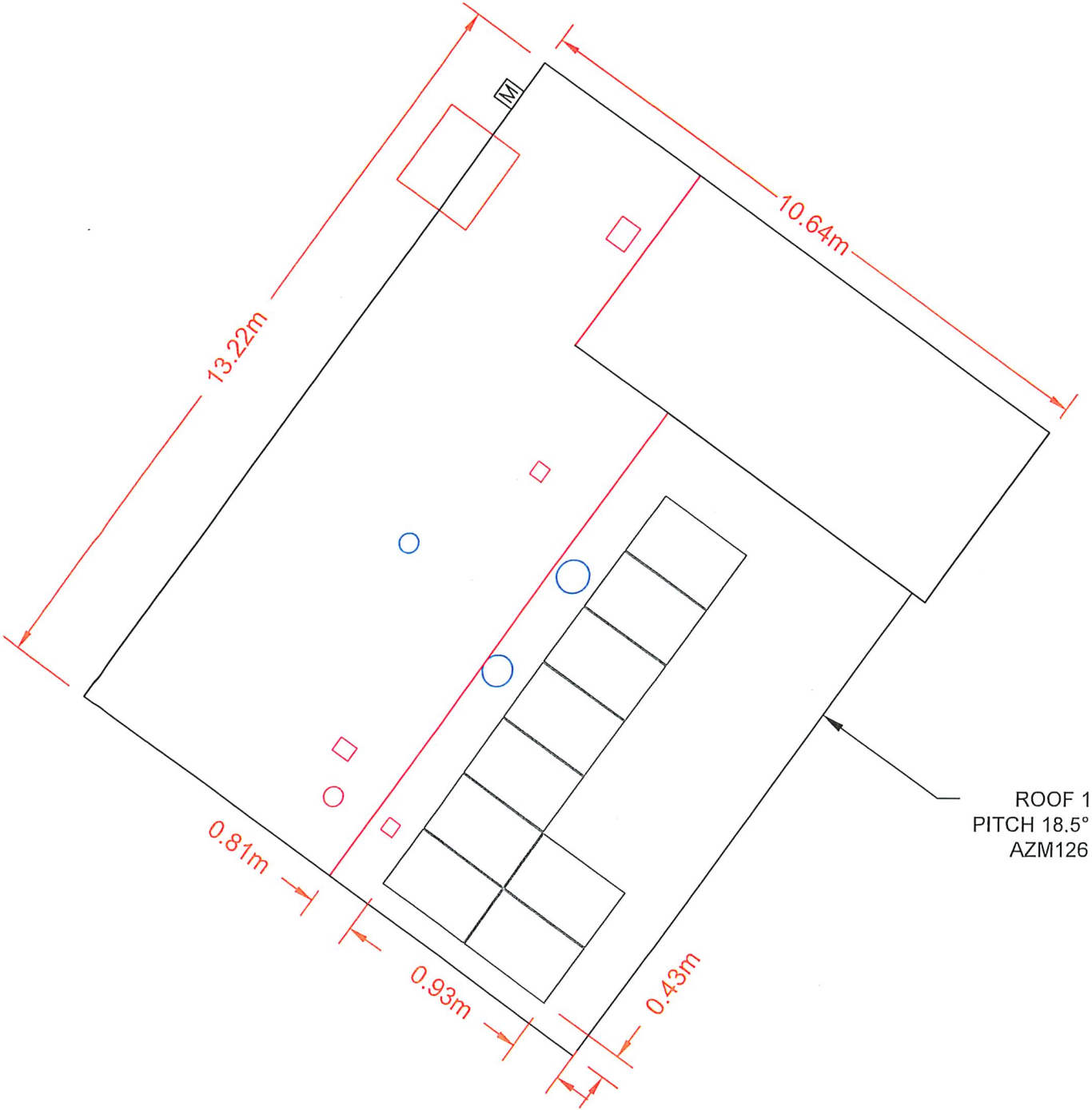
G1



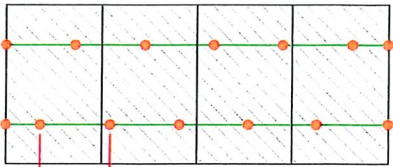
LEGEND

- METER
- PVC VENT
- METAL VENT
- VENT BOX
- STRUCTURAL DELIMITER
- SERVICE MAST
- SATELLITE
- ANTENNA
- SNOW GUARD
- DOWNSPOUT
- MOUNT
- RAIL
- TOP CHORD
- SEAM
- ELECTRICAL
- CHIMNEY

SCALE: 1:100



MOUNTING PATTERN SAMPLE

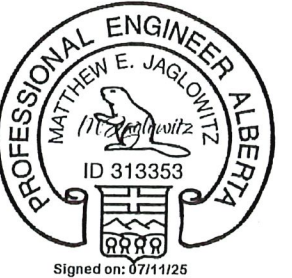


MAXIMUM MOUNT SPACING: 1219mm
TOP CHORD SPACING: 610mm O/C
MOUNT PATTERN: STAGGERED

ALL HARDWARE, INCLUDING MOUNTING AND RACKING, TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

NOTE:
MAXIMUM END CANTILEVER OF ALUMINUM SUPPORT RAIL SHALL NOT EXCEED ONE-THIRD ($\frac{1}{3}$) OF ALLOWABLE SPAN IN THE ROOF WIND PRESSURE ZONE OF THE CANTILEVER.

PERMIT TO PRACTICE
EXACTUS ENERGY INC.
RM SIGNATURE: *Matthew E. Jaglowitz*
RM APEGA ID #: 313353
DATE: 07/11/25
PERMIT NUMBER: P016590
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)



ROOF MATERIAL: SHINGLE
TOTAL ROOF AREA: 138.02 M²
TOTAL ARRAY AREA: 18.37 M²
TOTAL ARRAY PERCENT COVERAGE: 13.31%

MODULE WATTAGE: 450 W
NUMBER OF PANELS: 9
SYSTEM SIZE: 4.050 kW

- NOTES:
- SOLAR PANEL LAYOUT SUBJECT TO CHANGE ACCORDING TO EXISTING CONDITIONS
 - SCALE AS SHOWN
 - ALL DIMENSIONS IN METERS UNLESS OTHERWISE STATED



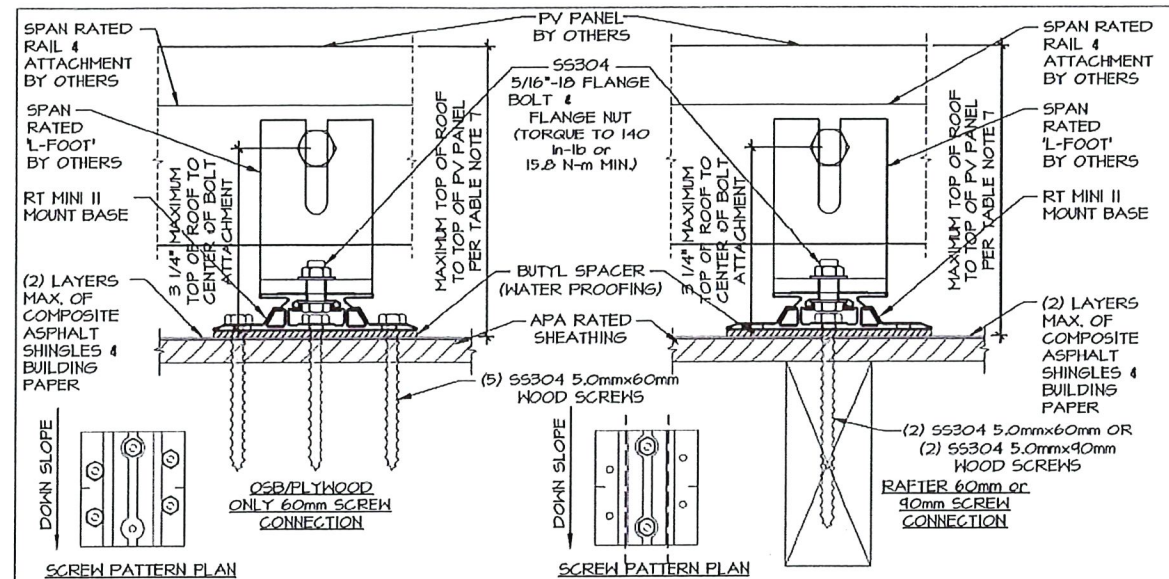
FIREFLY SOLAR
+1-888-912-9462
FIREFLYSOLAR.CA

PROJECT: 4823 44 AVE
MUNICIPALITY: GIBBONS, AB
POSTAL CODE: T0A 1N1
CLIENT: KENNETH A DAVIS
4.05 KW DC-STC / 3.240 KW AC

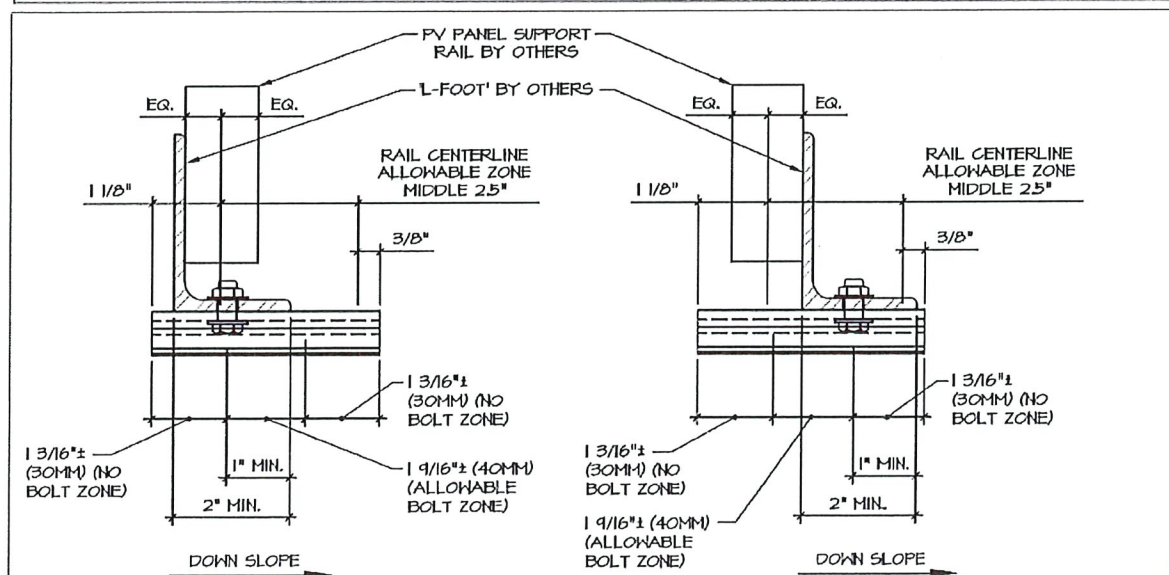
AUTHOR: ---
DATE: 10/JUL/25
REV: -

PANEL LAYOUT

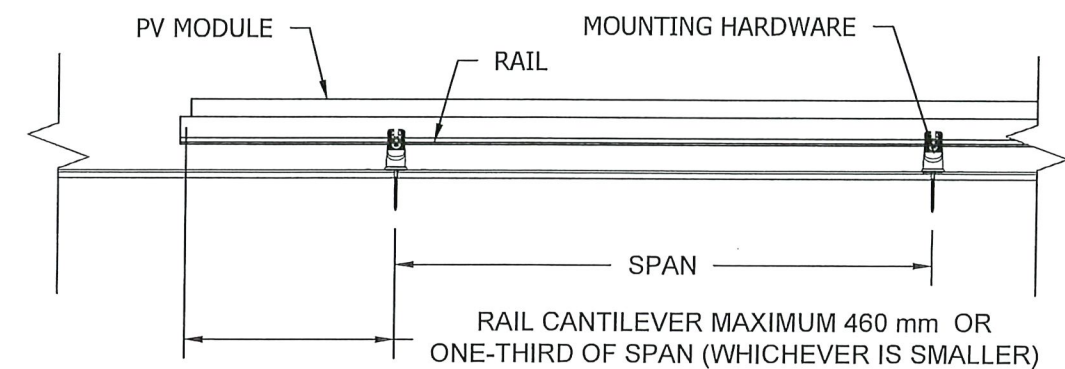
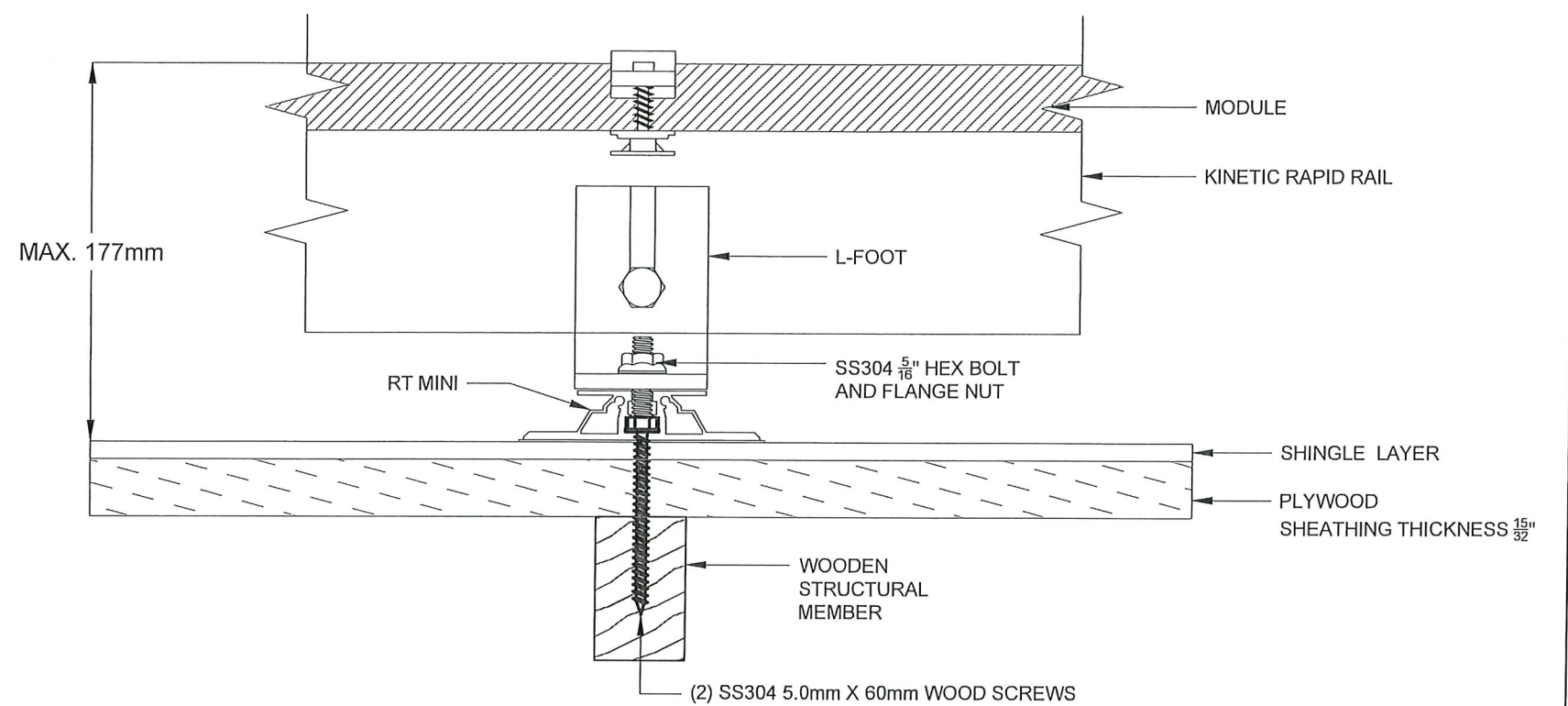
G2



1 RAIL AND 'L-FOOT' ORIENTATION
SCALE: N.T.S.



3 RAIL AND 'L-FOOT' ORIENTATION
SCALE: N.T.S.



PANEL TYPE: LONGI LR7-54HGBB 450W
PANEL SIZE: 1800.00mm X 1134.00mm
RACKING TYPE: KINETIC RAPID RAIL
MOUNT TYPE: RT MINI II
SOLAR SYSTEM DEAD LOAD: 0.17kN/m²

NOTES:

- SCALE AS SHOWN
- ALL DIMENSIONS IN METERS UNLESS OTHERWISE STATED

PERMIT TO PRACTICE
EXACTUS ENERGY INC.
RM SIGNATURE: *Matthew E. Jaglowitz*
RM APEGA ID #: 313353
DATE: 07/11/25
PERMIT NUMBER: P016590
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)

PROFESSIONAL ENGINEER ALBERTA
MATTHEW E. JAGLOWITZ
ID 313353
Signed on: 07/11/25

FIREFLY SOLAR

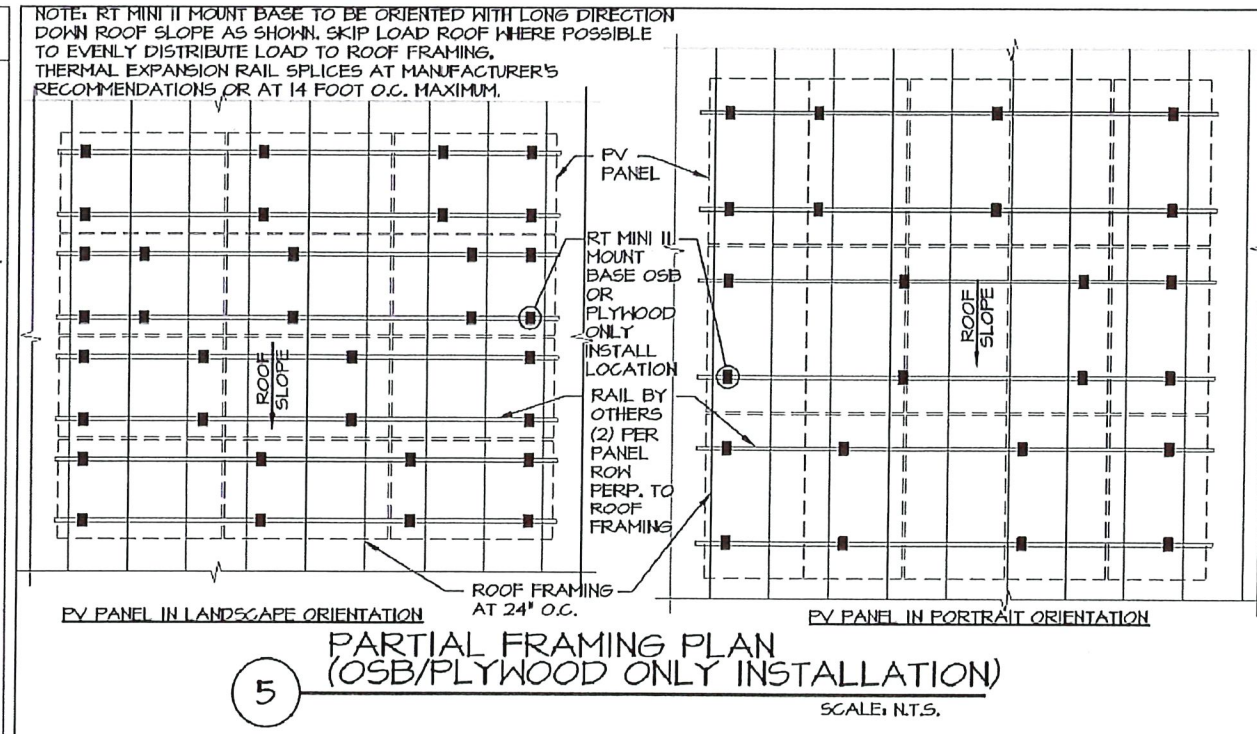
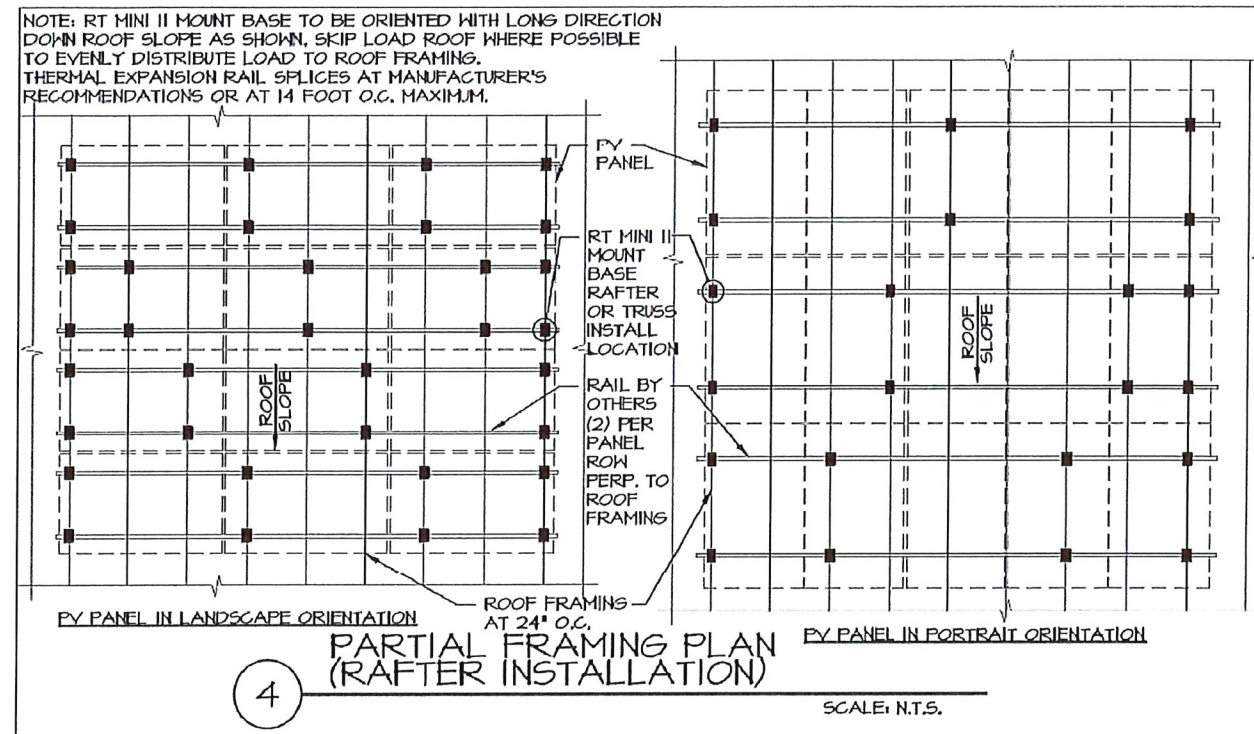
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PROJECT: 4823 44 AVE
MUNICIPALITY: GIBBONS, AB
POSTAL CODE: T0A 1N1
CLIENT: KENNETH A DAVIS
4.05 KW DC-STC / 3.240 KW AC

AUTHOR: ----
DATE: 10/JUL/25
REV: -

ATTACHMENT DETAILS

G3

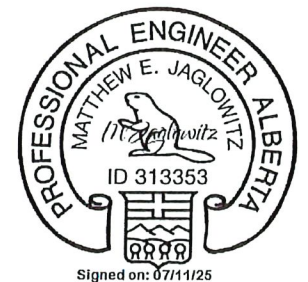


PANEL TYPE: LONGI LR7-54HGBB 450W
 PANEL SIZE: 1800.00mm X 1134.00mm
 RACKING TYPE: KINETIC RAPID RAIL
 MOUNT TYPE: RT MINI II
 SOLAR SYSTEM DEAD LOAD: 0.17kN/m²

NOTES:

- SCALE AS SHOWN
- ALL DIMENSIONS IN METERS UNLESS OTHERWISE STATED

PERMIT TO PRACTICE
 EXACTUS ENERGY INC.
 RM SIGNATURE: *Matthew E. Jaglowitz*
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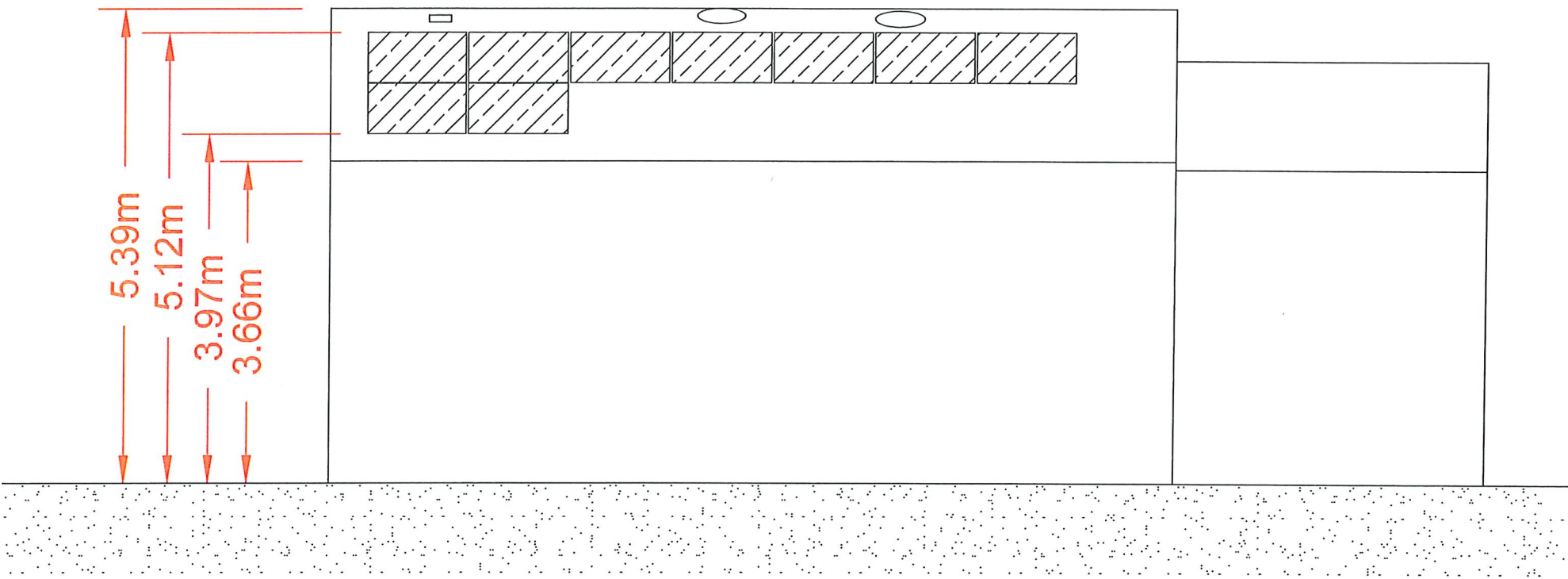
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PROJECT: 4823 44 AVE
 MUNICIPALITY: GIBBONS, AB
 POSTAL CODE: T0A 1N1
 CLIENT: KENNETH A DAVIS
 4.05 KW DC-STC / 3.240 KW AC

AUTHOR: ---
 DATE: 10/JUL/25
 REV: -

RACK CONNECTION DETAILS

G4



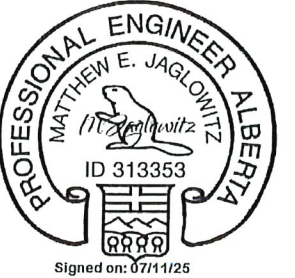
SOUTHEAST ELEVATION

SCALE: NTS

PANEL TYPE: LONGI LR7-54HGBB 450W
PANEL SIZE: 1800.00mm X 1134.00mm
RACKING TYPE: KINETIC RAPID RAIL
MOUNT TYPE: RT MINI II
SOLAR SYSTEM DEAD LOAD: 0.17kN/m²

- NOTES:
- SCALE AS SHOWN
 - ALL DIMENSIONS IN METERS UNLESS OTHERWISE STATED

PERMIT TO PRACTICE
EXACTUS ENERGY INC.
RM SIGNATURE: *Matthew E. Jaglowitz*
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PROJECT: 4823 44 AVE
MUNICIPALITY: GIBBONS, AB
POSTAL CODE: T0A 1N1
CLIENT: KENNETH A DAVIS
4.05 KW DC-STC / 3.240 KW AC

AUTHOR: ----
DATE: 10/JUL/25
REV: -

SIDE HOUSE ELEVATION

G5

Hi-MO 7

LR7-54HGBB
440~460M

- Suitable for the Distribution Market
- Advanced HPDC cell technology delivers superior module efficiency and power
- High bifaciality and excellent power temperature coefficient achieves high energy yield
- LONGi lifecycle quality ensures long-term performance

25 25-year Warranty for Materials and Processing

30 30-year Warranty for Extra Linear Power Output

Complete System and Product Certifications
IEC 61215, IEC 61730, UL 61730
ISO9001:2015 ISO Quality Management System
ISO14001: 2015 ISO Environment Management System
ISO45001: 2018 Occupational Health and Safety
IEC62941: Guideline for module design qualification and type approval

LONGi

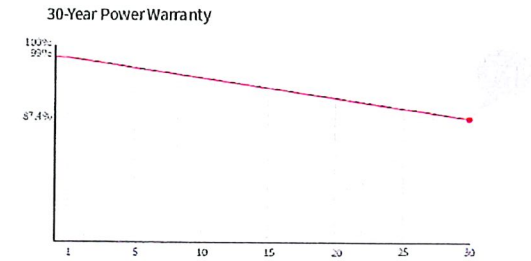


Hi-MO 7

LR7-54HGBB 440~460M

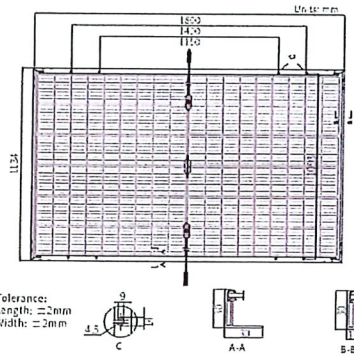
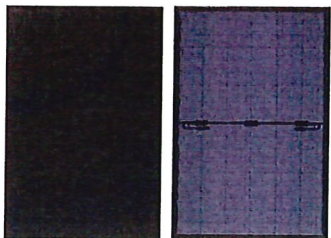
22.5% MAX MODULE EFFICIENCY	0~3% POWER TOLERANCE	<1% FIRST YEAR POWER DEGRADATION	0.4% YEAR 2-30 POWER DEGRADATION	HALF-CELL Lower operating temperature
-----------------------------------	----------------------------	--	--	--

Additional Value



Mechanical Parameters

Cell Orientation	108 (6×18)
Junction Box	IP68
Output Cable	4mm², +400, -200mm/±1400mm length can be customized
Glass	Dual glass, 2.0+1.6mm semi tempered glass
Frame	Anodized aluminum alloy frame
Weight	23.6kg
Dimension	1800×1134×30mm
Packaging	36pcs per pallet / 216pcs per 20' GP / 864pcs per 40' HC



Electrical Characteristics		STC : AM1.5 1000W/m² 25°C		NOCT : AM1.5 800W/m² 20°C 1m/s		Test uncertainty for Pmax ±3%	
Model Type		LR7-54HGBB-440M	LR7-54HGBB-445M	LR7-54HGBB-450M	LR7-54HGBB-455M	LR7-54HGBB-460M	
Testing Condition		STC	NOCT	STC	NOCT	STC	NOCT
Max Power (Pmax/W)		440	334.9	445	338.8	450	342.6
Open Circuit Voltage (Voc/V)		39.30	37.35	39.50	37.54	39.70	37.73
Short Circuit Current (Isc/A)		14.23	11.43	14.30	11.49	14.37	11.54
Voltage at Maximum Power (Vmp/V)		32.82	31.19	33.02	31.38	33.22	31.53
Current at Maximum Power (Imp/A)		13.41	31.19	13.48	10.80	13.55	10.85
Module Efficiency (%)		21.6		21.8		22.0	

Electrical characteristics with different rear side power gain (reference to 450W front)					
Pmax /W	Voc/V	Isc /A	Vmp/V	Imp /A	Pmax gain
473	39.70	15.03	33.22	14.22	5%
495	39.70	15.81	33.22	14.90	10%
518	39.80	16.53	33.32	15.58	15%
540	39.80	17.25	33.32	16.26	20%
563	39.80	17.95	33.32	16.93	25%

Operating Parameters

Operational Temperature	-40°C ~ +85°C
Maximum System Voltage	DC1500V (IEC/UL)
Maximum Series Fuse Rating	30A
Nominal Operating Cell Temperature	45±2°C
Protection Class	Class II
Bifaciality	80±10%
Fire Rating	UL Type 38 IEC Class C

Mechanical Loading

Front Side Maximum Static Loading (e.g. snow, wind)	5400Pa
Rear Side Maximum Static Loading (e.g. wind)	2400Pa
Hailstone Test	25mm Hailstone at the speed of 23m/s

Temperature Ratings (STC)

Temperature Coefficient of Isc	+0.045%/°C
Temperature Coefficient of Voc	-0.230%/°C
Temperature Coefficient of Pmax	-0.280%/°C

LONGi

No.8369 Shangyuan Road, Xi'an Economic And
Technological Development Zone, Xi'an, Shaanxi, China.
Web: www.longi.com

Specifications included in this datasheet
are subject to change without notice.
LONGi reserves the right of final
interpretation. (20240124Betal/01) DG

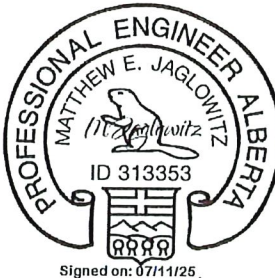
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RM SIGNATURE: *Matthew E. Jaglowitz*

RM APEGA ID #: 313353

DATE: 07/11/25

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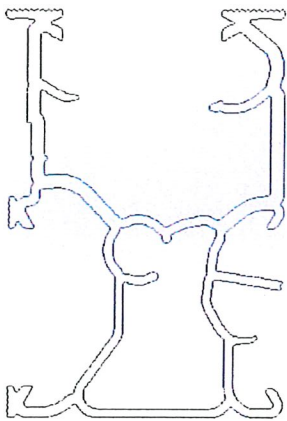
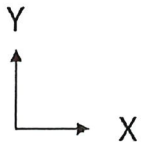
PROJECT: 4823 44 AVE
MUNICIPALITY: GIBBONS, AB
POSTAL CODE: T0A 1N1
CLIENT: KENNETH A DAVIS
4.05 KW DC-STC / 3.240 KW AC

AUTHOR: ----
DATE: 10/JUL/25
REV: -

PANEL SPECIFICATIONS

A1

Rapid Rail



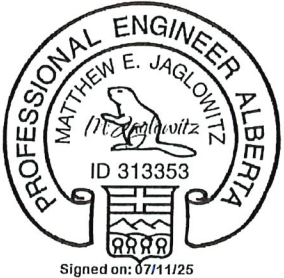
Properties

Area:	0.5683 in ²
Moments of inertia:	X: 0.2834 in ⁴ Y: 0.1502 in ⁴
Product of inertia:	XY: 0.0028 in ⁴
Radii of gyration:	X: 0.7062 in Y: 0.5140 in
Principal moments of inertia of the area, at the centroid:	I: 0.15009 in ⁴ J: 0.28353 in ⁴
Material:	Aluminum



65 Martin Ross Ave, Toronto, ON
416-665-3755
www.kineticsolar.com

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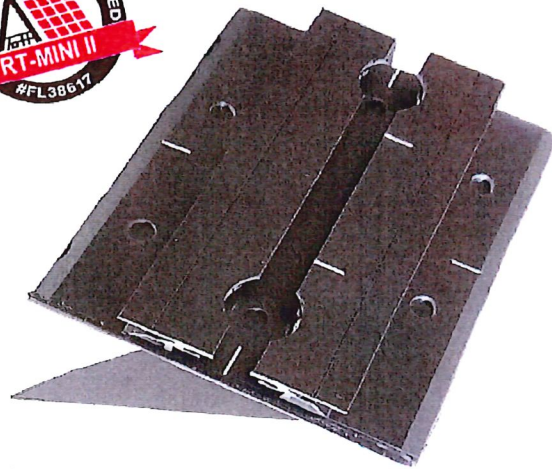
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MUNICIPALITY: GIBBONS, AB
POSTAL CODE: T0A 1N1
CLIENT: KENNETH A DAVIS
4.05 KW DC-STC / 3.240 KW AC

AUTHOR: ----
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RACKING SPECIFICATIONS

RT-MINI II

A Self-flashing PV Mount Featuring Roof Tech's AlphaSeal®



RT-MINI II is suitable for all systems with any L-Foot

- ✓ No Caulking or Pre-Drilling Required
- ✓ Universal Attachment to Any Slope
- ✓ Metal, EPDM, TPO, SBS, & Asphalt Roofs
- ✓ Wide Range of Applications & Ultimate Flexibility on the Roof
- ✓ No Need to Bend Rails N-S & Rotational Adjustments

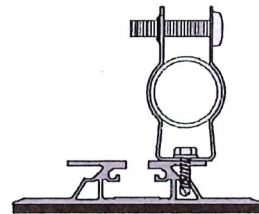


Installation Manual

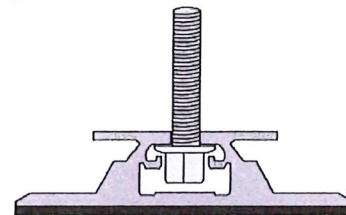


ICC ESR 3575

Conduit Strap Installation



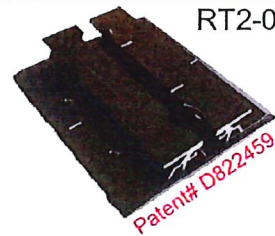
RT2-04-FBN25
Hex Flange Bolt and Nut Set
Required for L-Foot Attachment



RT-MINI II

Flexible Flashing Certified by the International Code Council (ICC)

Components



RT2-00-MINIBK2

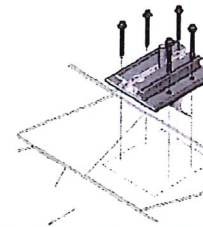


MINI II base : 20 ea.
Screw : 40 ea.
Extra RT-Butyl : 4 ea.

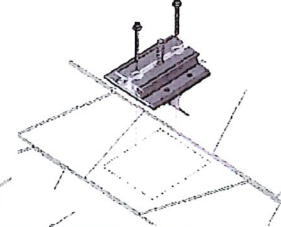
Optional Items:

5 x 60mm Mounting Screw (RT2-04-SD5-60) : 100 ea./Bag
5/16 X 25MM Flange Bolt & Nut (RT2-04-FBN25) : 100 ea./Bag
RT-Butyl (RT2-04-MNBUTYL) : 10 ea./Box

Deck Installation OSB & PLYWOOD ONLY



Rafter Installation



Roof Tech Inc. AlphaSeal™ Technology has been used on over one million residential PV systems since 1994. It is the first PV mounting system with Flexible Flashing certified by the ICC, engineered to withstand wind speeds up to 180 mph and ground snow up to 90 psf.

Engineered to ASTM D 1761
(Standard Test Methods for Mechanical Fasteners in Wood)

ICC ESR-3575

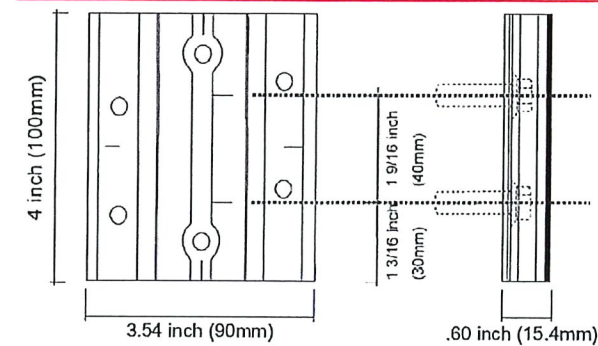
ASTM2140 Testing

P.E. Letters

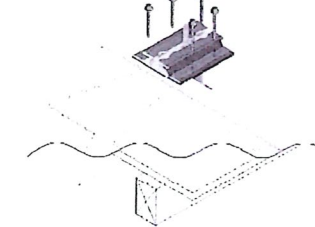


Support & Downloads

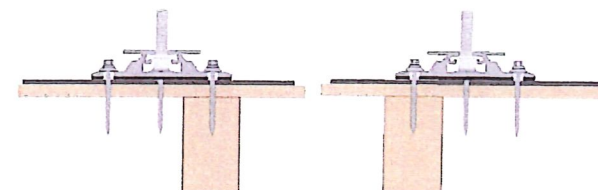
Dimensions in (mm)



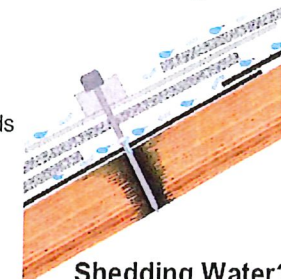
Hybrid Installation Rafter and Deck



Offset Rafter Attachment Options

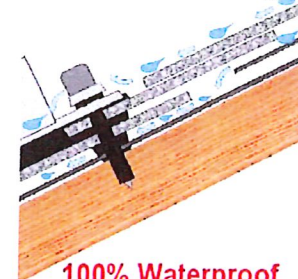


Metal Flashing Retrofit



Shedding Water?

Flexible Flashing

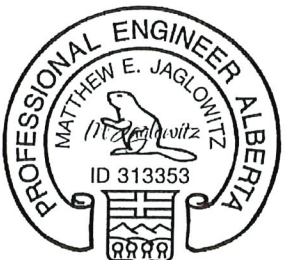


100% Waterproof

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RM APEGA ID #: 313353

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Signed on: 07/11/25



Roof Tech

The Standard for Waterproof Flexible Flashing Since 1994

www.roof-tech.us

info@roof-tech.us



Roof Tech Inc.
www.roof-tech.us info@roof-tech.us
10620 Treena Street, Suite 230, San Diego, CA 92131
858.935.6064

May 2023



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PROJECT: 4823 44 AVE
MUNICIPALITY: GIBBONS, AB
POSTAL CODE: T0A 1N1
CLIENT: KENNETH A DAVIS
4.05 KW DC-STC / 3.240 KW AC

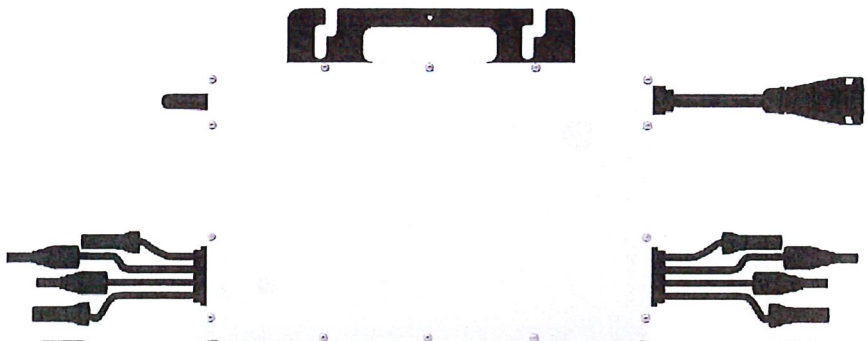
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MOUNTING SPECIFICATIONS

A3



Open Energy For All



Microinverter
Datasheet

HMS-1600-4T-NA
HMS-1800-4T-NA
HMS-2000-4T-NA

Description

Hoymiles new microinverter HMS-2000 series are suitable for high-powered solar panels, which rank among the highest for 4-in-1 microinverters. Each microinverter can connect up to 4 panels, with independent MPPT and module-level monitoring maximizing the power production of your installation. With a maximum DC voltage of 65 volts, Hoymiles microinverter is a PV Rapid Shutdown Equipment and conforms with NEC-2017 and NEC-2020 Article 690.12 and CEC-2021 Sec 64-218. The new Sub-1G wireless solution enables more stable communication with Hoymiles gateway DTU.

Features

- 01

High-powered microinverter for 4-in-1 series with superior performance
- 02

Safer for rooftop solar stations with PV rapid shutdown compliance
- 03

With Reactive Power Control, compliant with UL 1741, IEEE 1547, UL 1741 SB, etc.
- 04

Independent MPPT and monitoring ensure greater energy harvest and easier maintenance
- 05

4-in-1 design enables most cost-effective solar solution
- 06

Sub-1G wireless solution allows stable communication in commercial and industrial settings

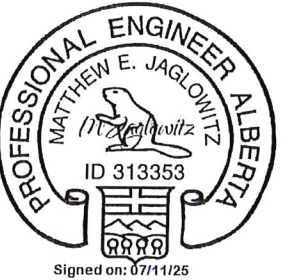
Technical Specifications

Model	HMS-1600-4T-NA	HMS-1800-4T-NA	HMS-2000-4T-NA
Input Data(DC)			
Commonly used module power (W)	320 to 540+	360 to 600+	400 to 670+
Maximum input voltage (V)		65	
MPPT voltage range (V)		16-60	
Start-up voltage (V)		22	
Maximum input current (A)	4 × 12.5	4 × 13.3	4 × 14
Maximum input short circuit current (A)		4 × 20	
Number of MPPTs		4	
Number of inputs per MPPT		1	
Output Data(AC)			
Peak output power (VA)	1600	1800	2000
Maximum continuous output power (VA)	1440	1660	1918
Maximum continuous output current (A)	6.00 6.92	6.92 7.98	7.99 9.22
Nominal output voltage/range (V)*	240/211-264 208/183-228	240/211-264 208/183-228	240/211-264 208/183-228
Nominal frequency/range (Hz)*		60/55-65	
Adjustable power factor (@nominal power)		> 0.99 default 0.8 leading ... 0.8 lagging	
Total harmonic distortion (@nominal power)		< 3%	
Maximum units per 10 AWG branch**	4 3	3 3	3 2
Efficiency			
CEC peak efficiency	96.70%	96.50%	96.50%
Nominal MPPT efficiency		99.8%	
Night power consumption (mW)		< 50	
Mechanical Data			
Ambient temperature range (°F)		-40 to +149 (-40 to +65°C)	
Dimensions (W × H × D [inch])		13.03 × 8.58 × 1.44 (331 × 218 × 36.6 mm)	
Weight (lbs)		10.36 (4.7 kg)	
Enclosure rating		Outdoor-NEMA 6 (IP67)	
Cooling		Natural convection-No fans	
Features			
Communication	Sub-1G		
Type of isolation	Galvanically Isolated HF Transformer		
Monitoring	S-Miles Cloud (Hoymiles Monitoring Platform)		
Compliance	UL 1741, IEEE 1547, UL 1741 SB, CA Rule 21***, CSA C22.2 No. 107.1-16, FCC 15B, FCC 15C		
PV Rapid Shutdown	Conforms with NEC-2017 and NEC-2020 Article 690.12 and CEC-2021 Sec 64-218 Rapid Shutdown of PV Systems.		

* Nominal voltage/frequency range can vary depending on local requirements.
** Refer to local requirements for exact number of microinverters per branch.
*** The HMS-2000-4T-NA microinverter complies with both CA Rule 21 (240 Vac) and CA Rule 21 (208 Vac).

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PROJECT: 4823 44 AVE
MUNICIPALITY: GIBBONS, AB
POSTAL CODE: T0A 1N1
CLIENT: KENNETH A DAVIS
4.05 KW DC-STC / 3.240 KW AC

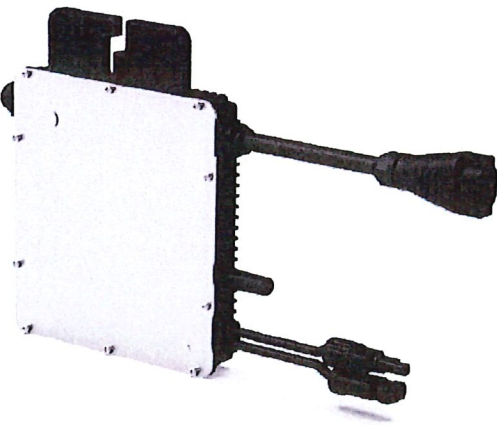
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DATE: 10/JUL/25
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INVERTER SPECIFICATIONS 1

A4



Open Energy For All



Microinverter Datasheet

HMS-350-1T-NA
HMS-400-1T-NA
HMS-450-1T-NA
HMS-500-1T-NA

Description

Hoy miles new microinverter HMS-500 series are suitable for high-powered solar panels, which rank among the highest for 1-in-1 microinverters. Each microinverter can be connected to one panel and used in various applications, making it one of the most flexible solar solutions. With a maximum DC voltage of 65 volts, Hoy miles microInverter is a PV Rapid Shutdown Equipment and conforms with NEC-2017 and NEC-2020 Article 690.12 and CEC-2021 Sec 64-218. The new Sub-1G wireless solution enables more stable communication with Hoy miles gateway DTU.

Features

- 01

High-powered microinverter for 1-in-1 series with superior performance
- 02

Safer for rooftop solar stations with PV rapid shutdown compliance
- 03

With Reactive Power Control, compliant with UL 1741, IEEE 1547, UL 1741 SB, etc.
- 04

1-in-1 design enables most flexible applications

Region: North America V2.02502
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sales@hoy miles.com

Technical Specifications

Model	HMS-350-1T-NA				HMS-400-1T-NA				HMS-450-1T-NA				HMS-500-1T-NA			
Input Data(DC)																
Commonly used module power (W)	280 to 470+				320 to 540+				360 to 600+				400 to 670+			
Maximum input voltage (V)	60				65				65				65			
MPPT voltage range (V)					16-60											
Start-up voltage (V)					22											
Maximum input current (A)	11.5				12.5				13.3				14			
Maximum input short circuit current (A)	16				20				20				20			
Number of MPPTs					1											
Number of inputs per MPPT					1											
Output Data(AC)																
Peak output power (VA)	350				400				450				500			
Maximum continuous output power (VA)	319				360				410				475			
Maximum continuous output current (A)	1.33	1.53			1.50	1.73			1.71	1.98	1.98	2.28				
Nominal output voltage/range (V)*	240/211-264 208/183-228				240/211-264 208/183-228				240/211-264 208/183-228				240/211-264 208/183-228			
Nominal frequency/range (Hz)*					60/50-65											
Adjustable power factor (@nominal power)					> 0.99 default 0.8 leading, 0.8 lagging											
Total harmonic distortion (@nominal power)					< 3%											
Maximum units per 10 AWG branch**	18	15			16	13			14	12	12	10				
Maximum units per 12 AWG branch**	12	10			10	9			9	8	8	7				
Efficiency																
CEC peak efficiency	96.70%				96.70%				96.50%				96.50%			
Nominal MPPT efficiency					99.80%											
Night power consumption (mW)					< 10											
Mechanical Data																
Ambient temperature range (°F)	-40 to +149 (-40°C to +65°C)															
Dimensions (W × H × D (inches))	7.17 × 6.46 × 1.18 (182 × 164 × 30 mm)															
Weight (lbs)	3.86 (1.75 kg)															
Enclosure rating	Outdoor-IP67 (NEMA 6)															
Cooling	Natural convection (no fans)															
Features																
Communication	Sub-1G															
Type of isolation	Galvanically Isolated HF Transformer															
Monitoring	S-Miles Cloud (Hoymiles Monitoring Platform)															
Compliance	UL 1741, IEEE 1547, UL 1741 SB, CA Rule 21, CSA C22.2 No. 107.1-16, FCC 15B, FCC 15C															
PV Rapid Shutdown	Conforms with NEC-2017 and NEC-2020 Article 690.12 and CEC-2021 Sec 64-218 Rapid Shutdown of PV Systems															
Nominal voltage/frequency range can vary depending on local requirements Refer to local requirements for exact number of microinverters per branch.																

* : Nominal voltage/frequency range can vary depending on local requirements
** : Refer to local requirements for exact number of microinverters per branch.

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PM APEGA ID #: 313353
DATE: 07/11/25
PERMIT NUMBER: P016590
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PROFESSIONAL ENGINEER ALBERTA
MATTHEW E. JAGLOWITZ
ID 313353
Signed on: 07/11/25



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PROJECT: 4823 44 AVE
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4.05 KW DC-STC / 3.240 KW AC

AUTHOR: ---
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REV: -

INVERTER SPECIFICATIONS 2

A5